

Bernie Romero
11 Caminito Santera
Santa Fe, New Mexico 87505

August 7, 2026

Historic Preservation Division
Santa Fe, New Mexico 87504

RE: Additions and renovations

104 Camino Matias
Santa Fe, New Mexico 87501

On behalf of Vicki Montano-Torres,

I request approval for modifications and renovations of her residence.

The residence was built in approximately 1967 and there are no records of any renovations or modifications of the existing residence.

The existing residence heated area is 1170 sq. ft. with an attached carport/storage of 636 sq. ft. The total roofed area is 1806 sq. ft. and is situated on a lot of 9661 sq. ft. The existing lot coverage is 18.7%.

Propose a new portal addition of 438 sq. ft on the east side of the residence and a new 35 sq. ft. entry under the existing west portal. The proposed portal will not increase the height of the existing residence.

Propose to repair base of rotted wood portal columns.

The existing west facing entry door will be moved to south wall of the new entry area. All construction for the new entry will be under the existing portal and will have minimal impact on the west elevation.

Propose removing all existing exterior windows and doors and replacing them with same size clad/wood units in bronze color cladding. The existing door on the south wall of dining area will be removed and

infilled with framing and stucco. The east wall of the residence will have two doors to the portal and the existing windows will be replaced with same size units bronze clad.

The proposed east portal will match the existing west portal/carport in-kind. The stain finish will be medium walnut to match with new corbels to match existing.

Propose a new stuccoed c.m.u. yardwall on the east side of the residence to run from the residence to the existing yardwall at the rear property line of the residence. There will be no gate on the yardwall.

Propose to install new LAHABRA "Adobe" cementitious color coat on the entire residence. Portal colorcoat to be LAHABRA "Colonial white.

Propose to install new heating/cooling condensers at rear yard area, screened from neighbors by the new yardwall.

Respectfully submitted,

Bernie Romero

Bernie Romero
11 Caminito Santera
Santa Fe, New Mexico 87505

July 13, 2026

Historic Preservation Division
Santa Fe, New Mexico 87504

RE: Additions and renovations

104 Camino Matias
Santa Fe, New Mexico 87501

On behalf of Vicki Montano-Torres,

I request approval of two exceptions for the renovation of her residence.

Exception 1:

Propose to replace existing exterior wood sliding windows and existing doors.

Do not damage the character of the district:

The existing windows are old style sliding windows and are very difficult to open. The tracks for the sliding window units are damaged and even with a little muscle will not open. The windows will be replaced with new clad bronze windows in-kind and will not damage or change the character of the district.

Are required to prevent hardship to the applicant or an injury to the public welfare:

The existing sliding mechanisms are damaged beyond repair and the owner requests replacing them due to the difficulty of operating them.

Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts:

Replacing the existing windows with in-kind windows does not damage the unique heterogeneous character of the City and the elevations and openings will not be changed.

Exception 2:

Propose to install new entry area under the existing portal.

Do not damage the character of the district:

The new entry addition will be constructed under the existing portal. The entire portal will remain, surrounding the proposed entry area which will remain similar to existing and the change to the existing character will be minimal.

Are required to prevent hardship to the applicant or an injury to the public welfare:

There is no hardship for the new entry installation. Mt client would like to make this change to enhance the entry and make it more handicap accessible.

Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts:

Installing a new entry under the existing portal will not damage the unique heterogeneous character of the City and the west elevation with the new entry will enhance the residence.

Respectfully submitted,

Bernie Romero



**104 CAMINO MATIAS-
WEST ELEVATION**

A photograph of a single-story building with a carport. The building has a light-colored exterior wall on the left and a darker, tan-colored wall on the right. A concrete driveway leads to the carport area. A pergola structure with wooden beams and green vines is attached to the building. The sky is blue with scattered white clouds. A utility pole is visible in the background. The text "104 CAMINO MATIAS-
WEST ELEVATION-
CARPORT" is overlaid in the lower-left corner.

**104 CAMINO MATIAS-
WEST ELEVATION-
CARPORT**

**104 CAMINO MATIAS-
WEST ELEVATION**

A photograph of a single-story house with a light-colored stucco exterior. A large, leafy tree stands in the left foreground, casting a shadow on the gravel yard. A large, rounded green bush is positioned near the house. A curved brick path leads from the bottom right towards the house. A green and yellow sign with the number '543' is stuck in the gravel. The sky is blue with scattered white clouds.

**104 CAMINO MATIAS-
WEST ELEVATION**



**104 CAMINO MATIAS-
WEST ELEVATION**



104 CAMINO MATIAS-SOUTH
ELEVATION



**104 CAMINO MATIAS-EAST
ELEVATION**



**104 CAMINO MATIAS-
EAST ELEVATION**



**104 CAMINO MATIAS-
NORTH ELEVATION**

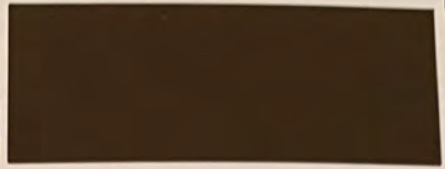


**104 CAMINO MATIAS-
NORTH ELEVATION**



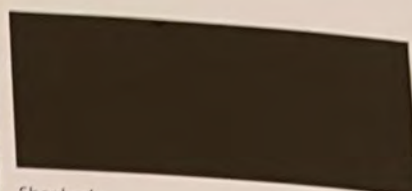
Pepperidge

SW 3017



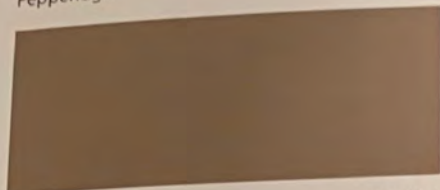
Spicewood

SW 3021



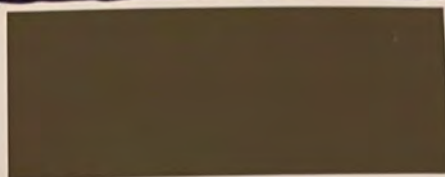
Shagbark

SW 3001



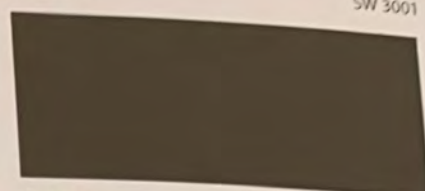
Rock Rose

SW 3016



Buckthorn

SW 3003



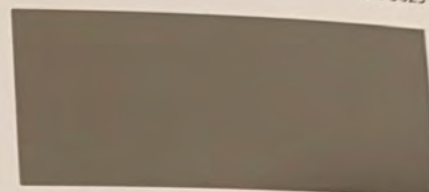
Caribou

SW 3025



Body: Belvedere Tan

SW 3002 (Solid Rain Refresh™)



Smoke Tree

SW 3019



Belvedere Tan

SW 3002



Sand Castle

SW 3006

Semi-Transparent STAIN COLOR

The WoodScapes® Polyurethane Semi-Transparent Stain is available in a wide variety of colors including 24 stains*.



White Birch

SW 3503



Baja Beige

SW 3509



Crossroads

SW 3505

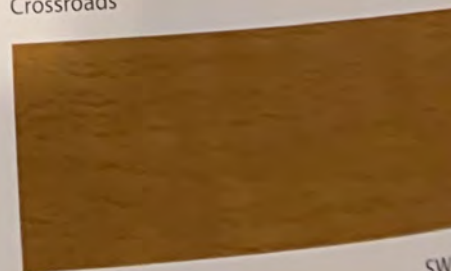


Woodlands

SW 3504



SW 3522



Spice Chest

SW 3522

LAHABRA

SOUTHWEST STUCCO COLOR COLLECTION



116-ADOBE



106-BUCKSKIN



115-COTTONWOOD



125-LA LUZ



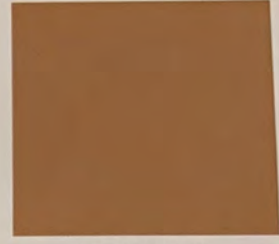
100-COLONIAL WHITE



113-DOVE GRAY



114-DESERT ROSE



212-MADERA



135-SAHARA



197-LA MORENA



101-NAVAJO WHITE



117-FAWN

COLORS ARE EXCLUSIVE FOR APPROVED SOUTHWEST CUSTOMERS.

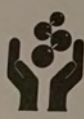
Color plays a vitally important role in the world in which we live. When we look at art, fashion, food, and interior décor we immediately experience an emotion from the colors projected. The color that is used on the exteriors of homes and buildings has this same effect – selecting the right stucco color accentuates building design and complements the other elements such as brick, stone veneers, siding, and trim.



since 1996



since 1997



NOTE: Due to variations in finishes and textures, it is strongly recommended that a physical sample be obtained in the color and texture desired for appraisal prior to ordering material. Apply a sample of the finish to the substrate being used before proceeding with the application and wet cure per application instructions. LaHabra is not responsible for color correctness of applied finish. Color must be verified and approved by owner prior to application.

Our most current General Sales Conditions shall apply.
Please consult the Data Sheet prior to any use and processing

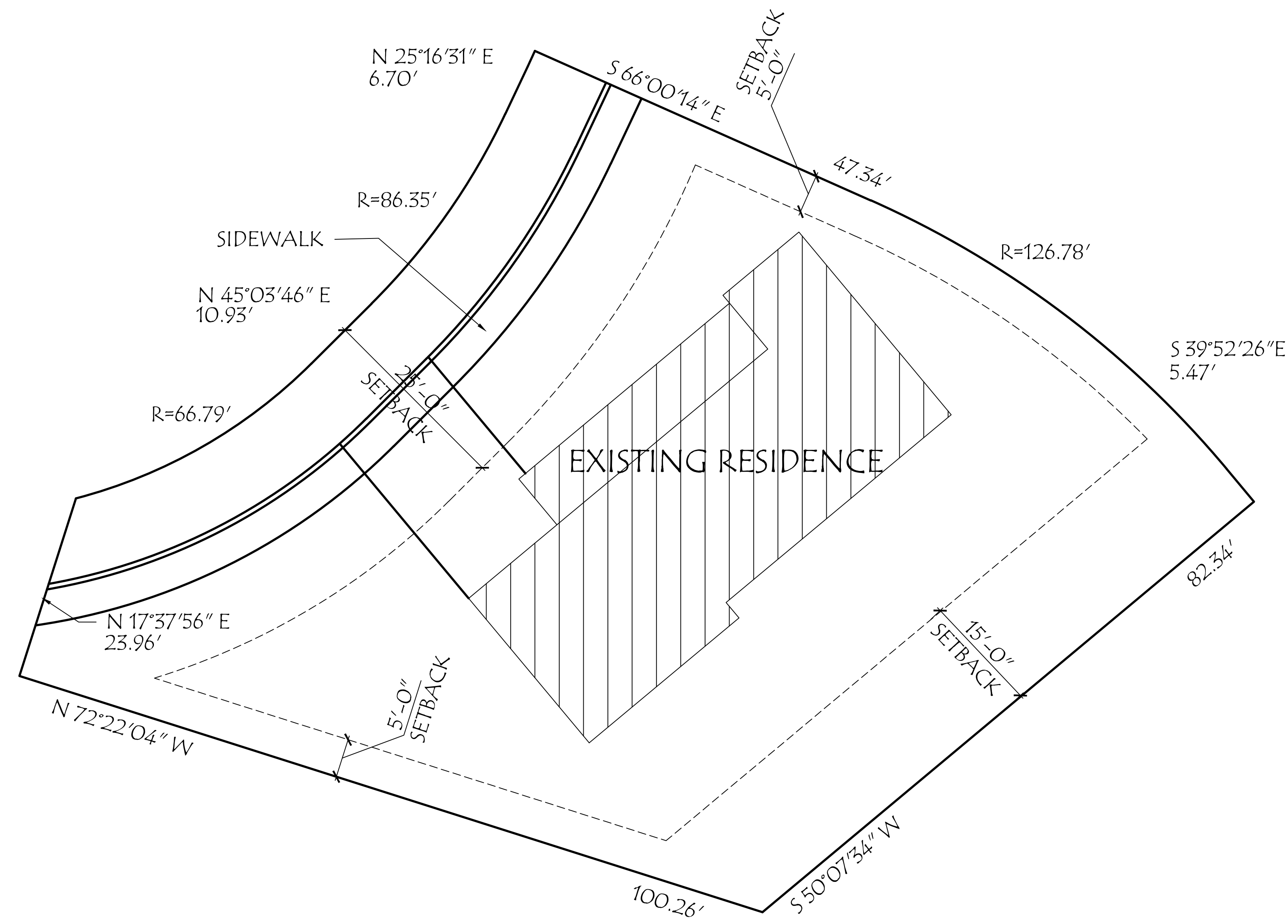
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STUCCO COLOR

Sika Corporation
201 Polito Avenue
Lyndhurst, NJ 07071 USA
Customer Service (800) 433-9517
Technical Service (800) 243-6739
usa.sika.com/lahabra

BUILDING TRUST

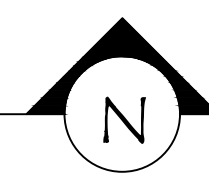
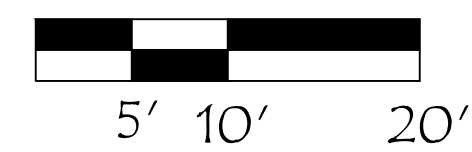




SITE DATA:
LOT SIZE= 9661 SQ. FT.
EXISTING TOTAL ROOFED AREA= 1806 SQ. FT.
EXISTING HEATED AREA= 1170 SQ. FT.
CARPORT/STORAGE= 636 SQ. FT.
TOTAL EXISTING LOT COVERAGE= 18.7%

EXISTING SITE PLAN

1"=10'-0"



EXISTING SITE PLAN

A1

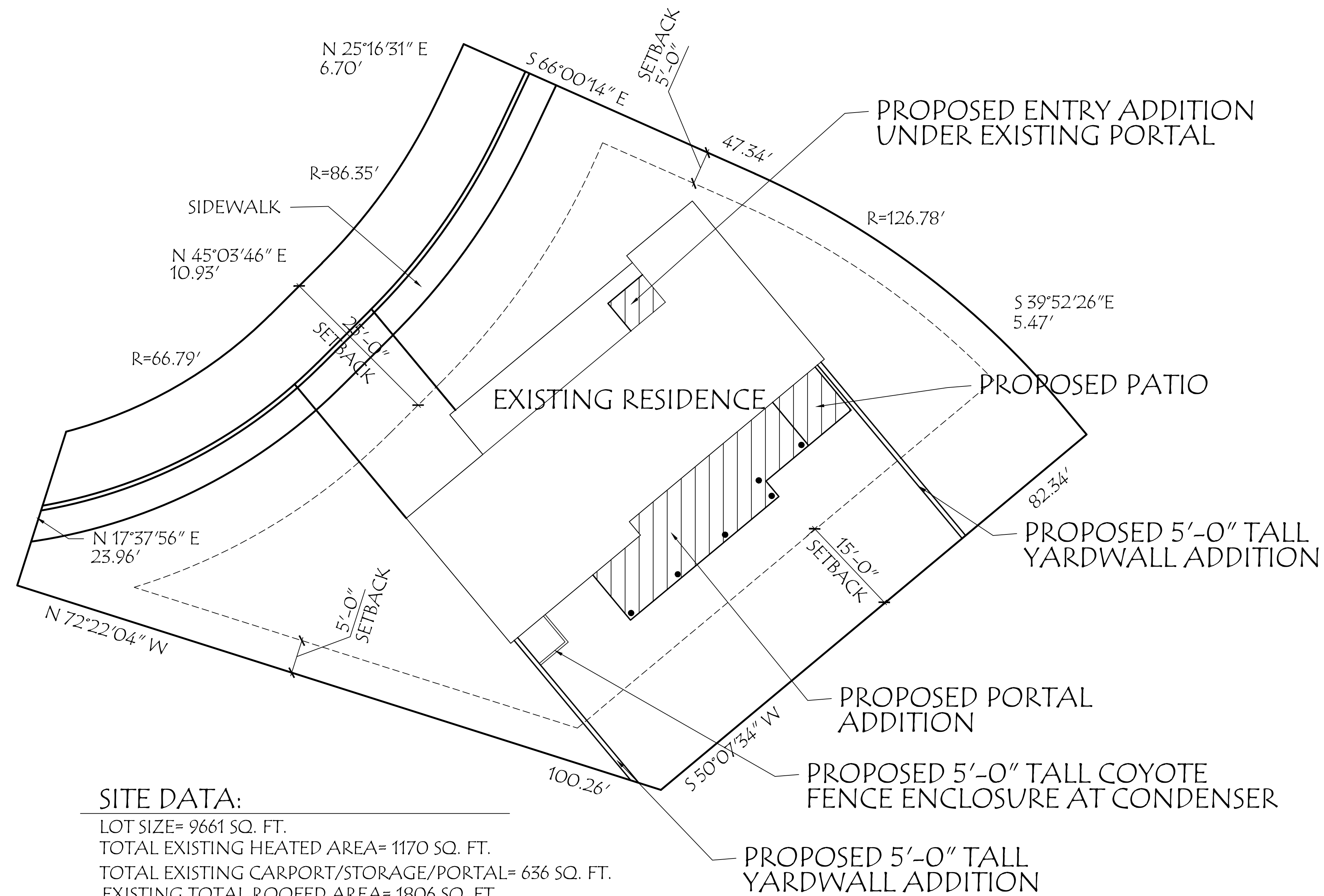
ROMERO
DESIGN &
DRAFTING

BERNIE ROMERO (505)-670-9926 CELL (505)-988-2451 HOME
11 CAMINITO SANTERCA SANTA FE, NEW MEXICO 87505

PROJECT: MONTANO-TORRES ADDITION AND RENOVATIONS
104 CAMINO MATIAS
SANTA FE, NEW MEXICO

DATE	DATE	DATE	DATE	DATE
P.Z.R.	P.Z.R.	P.Z.R.	P.Z.R.	P.Z.R.
SUBMITTAL	SUBMITTAL	SUBMITTAL	SUBMITTAL	SUBMITTAL
6/30/2025	6/30/2025	6/30/2025	6/30/2025	6/30/2025

7/13/2026

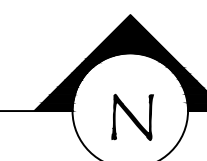
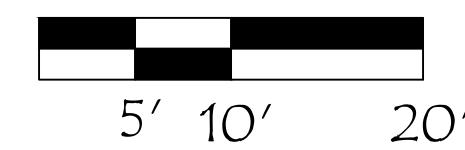


SITE DATA:

LOT SIZE= 9661 SQ. FT.
 TOTAL EXISTING HEATED AREA= 1170 SQ. FT.
 TOTAL EXISTING CARPORT/STORAGE/PORTAL= 636 SQ. FT.
 EXISTING TOTAL ROOFED AREA= 1806 SQ. FT.
 PROPOSED NEW PORTAL= 370 SQ.FT.
 TOTAL NEW AND EXISTING ROOFED AREA= 2176 SQ. FT.
 PROPOSED LOT COVERAGE= 22.5%

PROPOSED SITE PLAN

1"=10'-0"

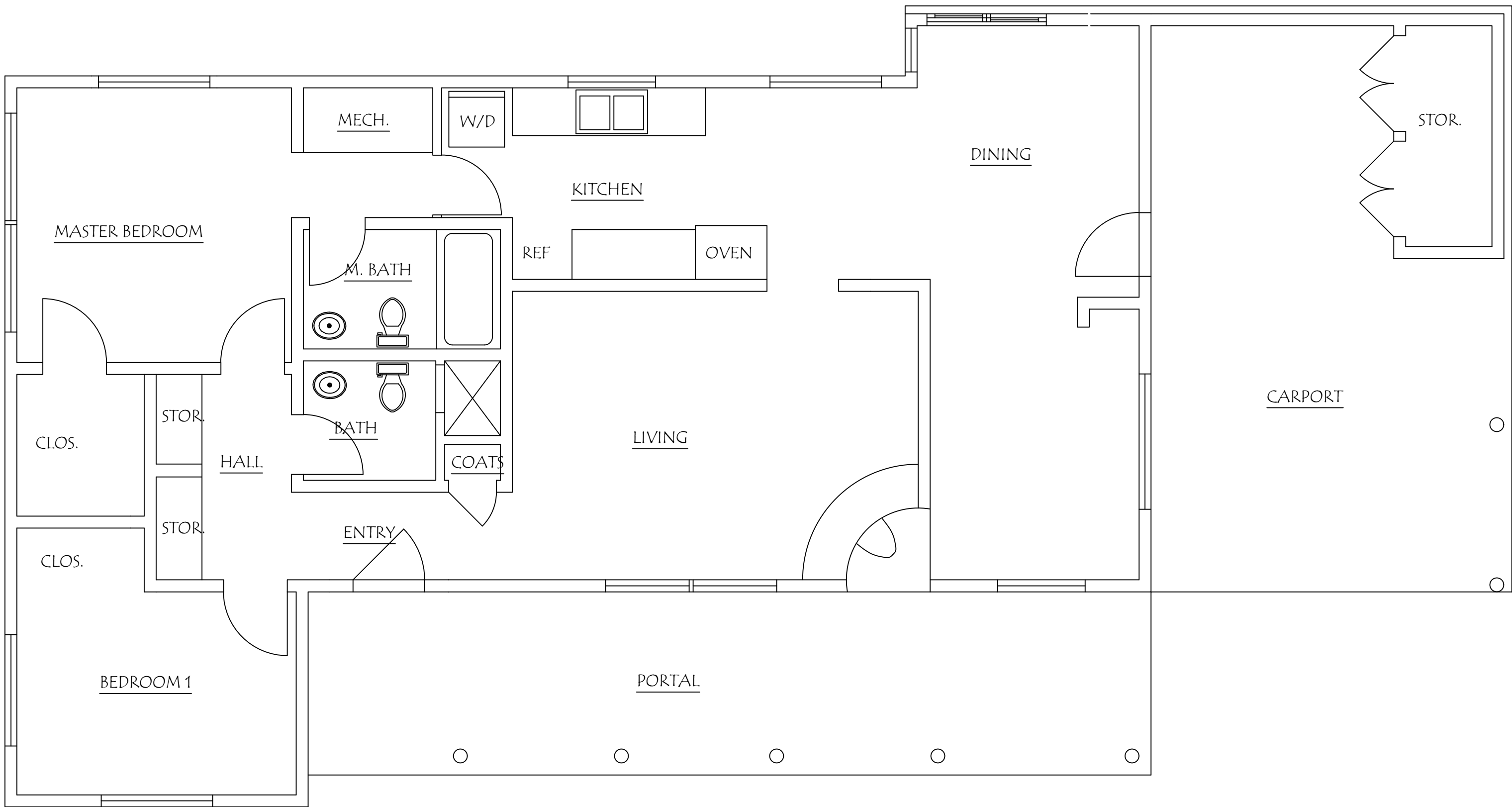


PROPOSED SITE PLAN

A2

JOB NAME: MONTANO-TORRES ADDITION AND RENOVATIONS
 DATE: 6/30/2025
 P.Z.R. SUBMITTAL
 DRAWN BY: BR
 BY:
 DATE:
 REVISION:
 104 CAMINO MATIAS
 SANTA FE, NEW MEXICO

ROMERO DESIGN & DRAFTING
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 11 CAMINITO SANTERCA SANTA FE, NEW MEXICO 87505



EXISTING FLOOR PLAN

1/4"= 1'-0"



EXISTING FLOOR PLAN

A3

JOB NAME
MONTANO-TORRES ADDITION AND RENOVATIONS
104 CAMINO MATIAS
SANTA FE, NEW MEXICO

DATE
P.Z.R.
SUBMITTAL
6/30/2025

DRAWN BY
BR

BY:

DATE

REVISION

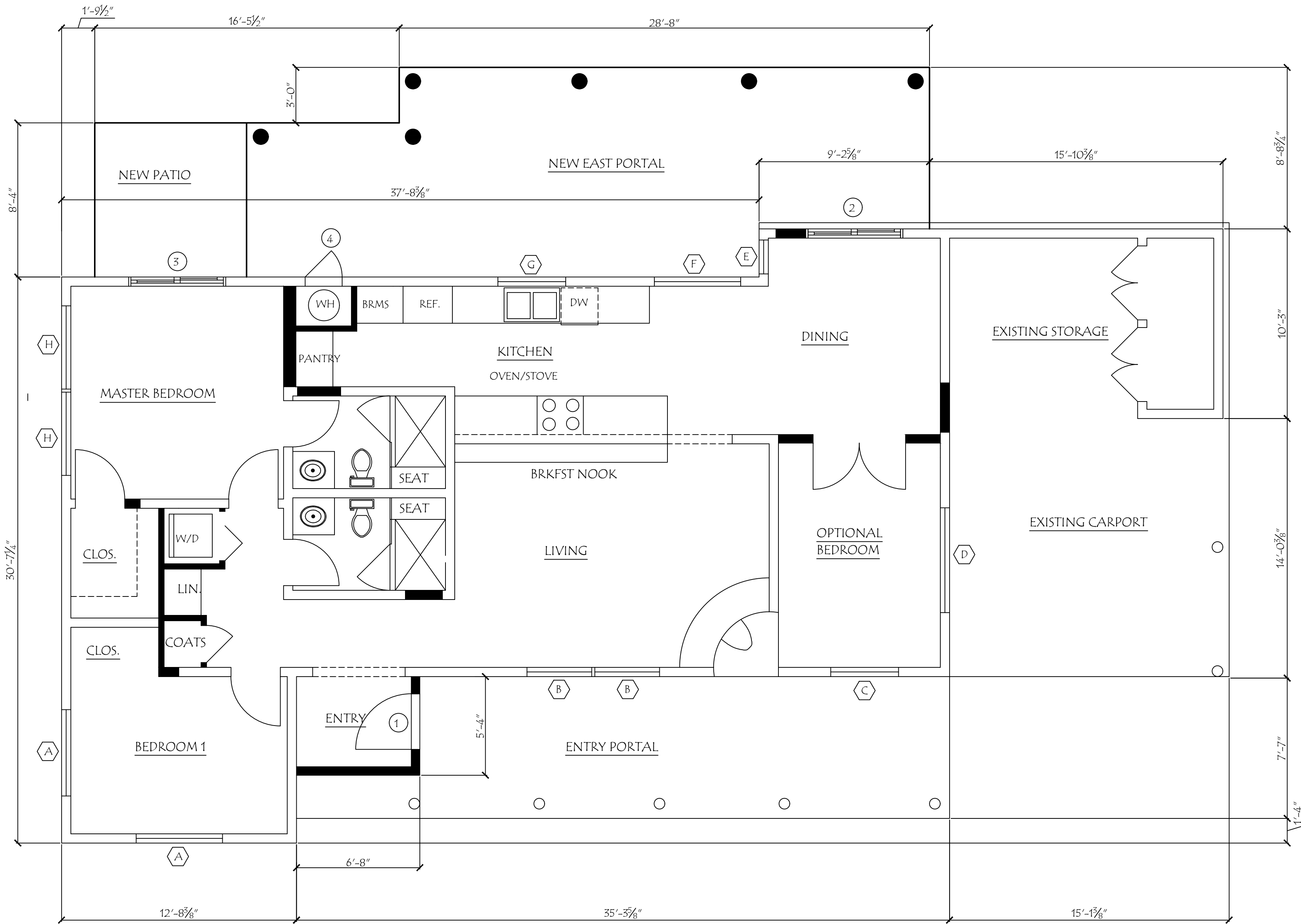
JOB #:

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DOOR SCHEDULE					
NO.	DESCRIPTION	W.	H.	T.	REMARKS
1	ANDERSEN FRENCH DOOR	3'-0"	6'-8"	1-3/4"	
2	ANDERSEN FRENCH SLIDER	5'-0"	6'-8"	1-3/4"	
3	ANDERSEN FRENCH SLIDER	5'-0"	6'-8"	1-3/4"	
4	OWNER SELECT	2'-0"	6'-8"	1-3/4"	

WINDOW SCHEDULE				
NO.	MANUFACTURER & CATALOG NUMBER	ROUGH OPENING (W x H)	HD. HG.	QTY.
A	ANDERSEN BRONZE CLAD SLIDER	4'-8 3/4" x 2'-2 3/4"-VERIFY	EXIST'G	2
B	ANDERSEN BRONZE CLAD SLIDER	3'-6 3/4" x 4'-2 3/4"-VERIFY	EXIST'G	2
C	ANDERSEN BRONZE CLAD SLIDER	3'-8 3/4" x 4'-2 3/4"-VERIFY	EXIST'G	1
D	ANDERSEN BRONZE CLAD SLIDER	5'-8 3/4" x 2'-10 3/4"-VERIFY	EXIST'G	1
E	ANDERSEN BRONZE CLAD SLIDER	1'-10 3/4" x 5'-2 3/4"-VERIFY	EXIST'G	1
F	ANDERSEN BRONZE CLAD SLIDER	4'-8 3/4" x 3'-8 3/4"-VERIFY	EXIST'G	1
G	ANDERSEN BRONZE CLAD SLIDER	3'-8 3/4" x 2'-2 3/4"-VERIFY	EXIST'G	1
H	ANDERSEN BRONZE CLAD SLIDER	4'-6 3/4" x 2'-2 3/4"-VERIFY	EXIST'G	2

NOTE:
ALL EXTERIOR DOORS AND WINDOWS TO BE BRONZE.



PROPOSED FLOOR PLAN
1/4"= 1'-0"



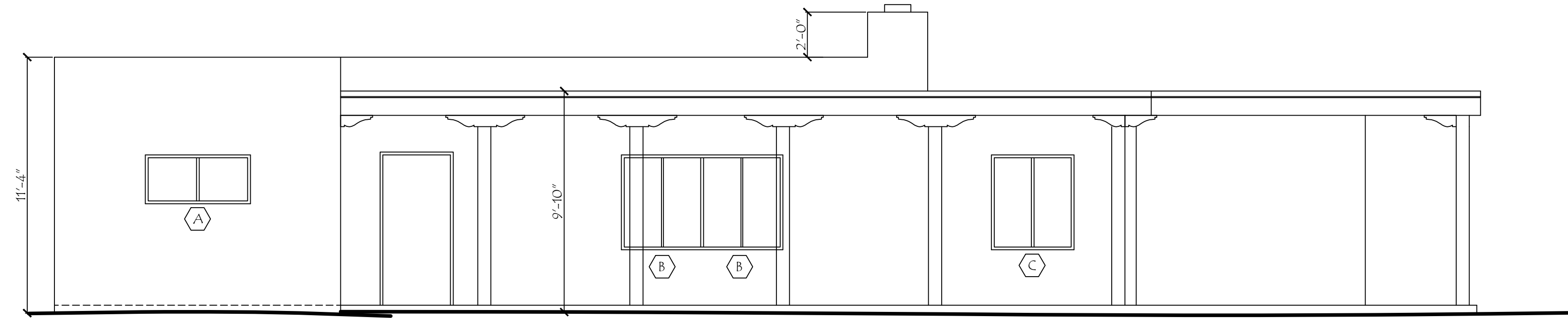
PROPOSED FLOOR PLAN

MONTANO-TORRES ADDITION AND RENOVATIONS

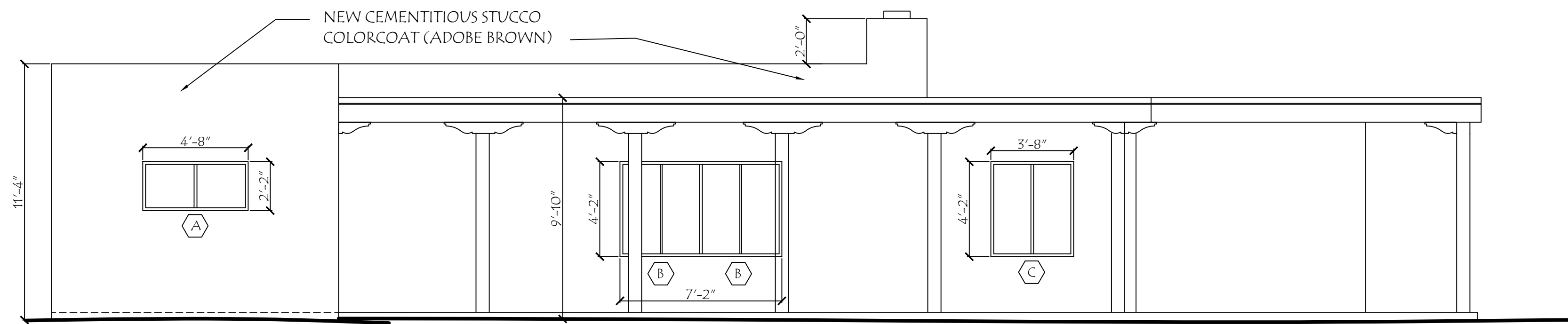
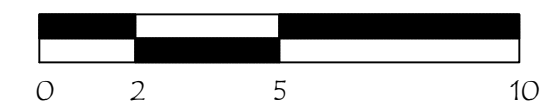
104 CAMINO MATIAS
SANTA FE, NEW MEXICO

A4

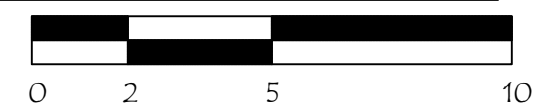
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11 CAMINITO SANTERCA SANTA FE, NEW MEXICO 87505



EXISTING WEST ELEVATION
1/4"=1'-0"



PROPOSED WEST ELEVATION
1/4"=1'-0"



SITE PLAN

A5

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11 CAMINITO SANTERCA SANTA FE, NEW MEXICO 87505

JOB NAME
MONTANO-TORRES ADDITION AND RENOVATIONS
104 CAMINO MATIAS
SANTA FE, NEW MEXICO

DATE
P.Z.R.
SUBMITTAL
6/30/2025

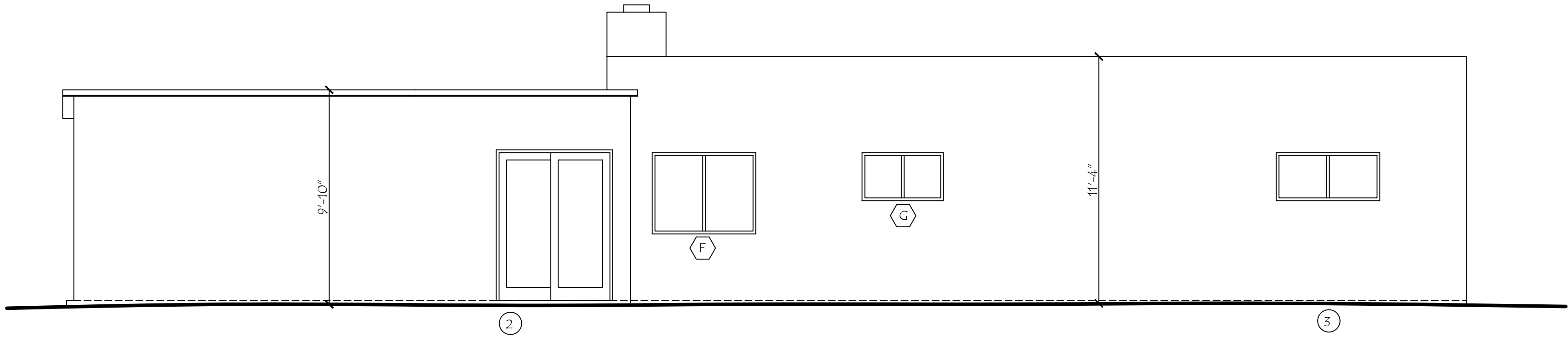
DRAWN BY
BR

BY:

DATE

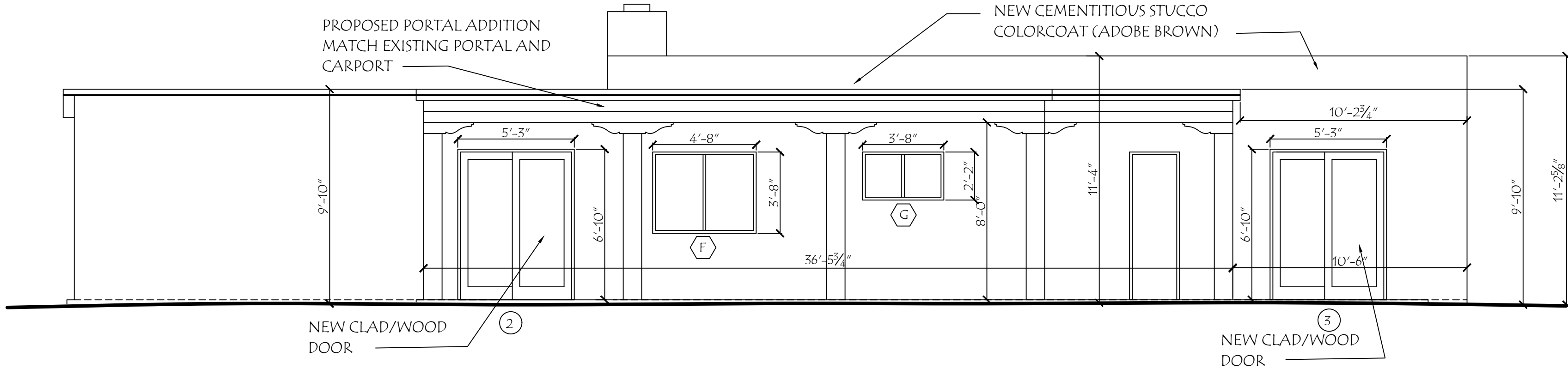
REVISION

DWG #



EXISTING EAST ELEVATION

1/4"= 1'-0"

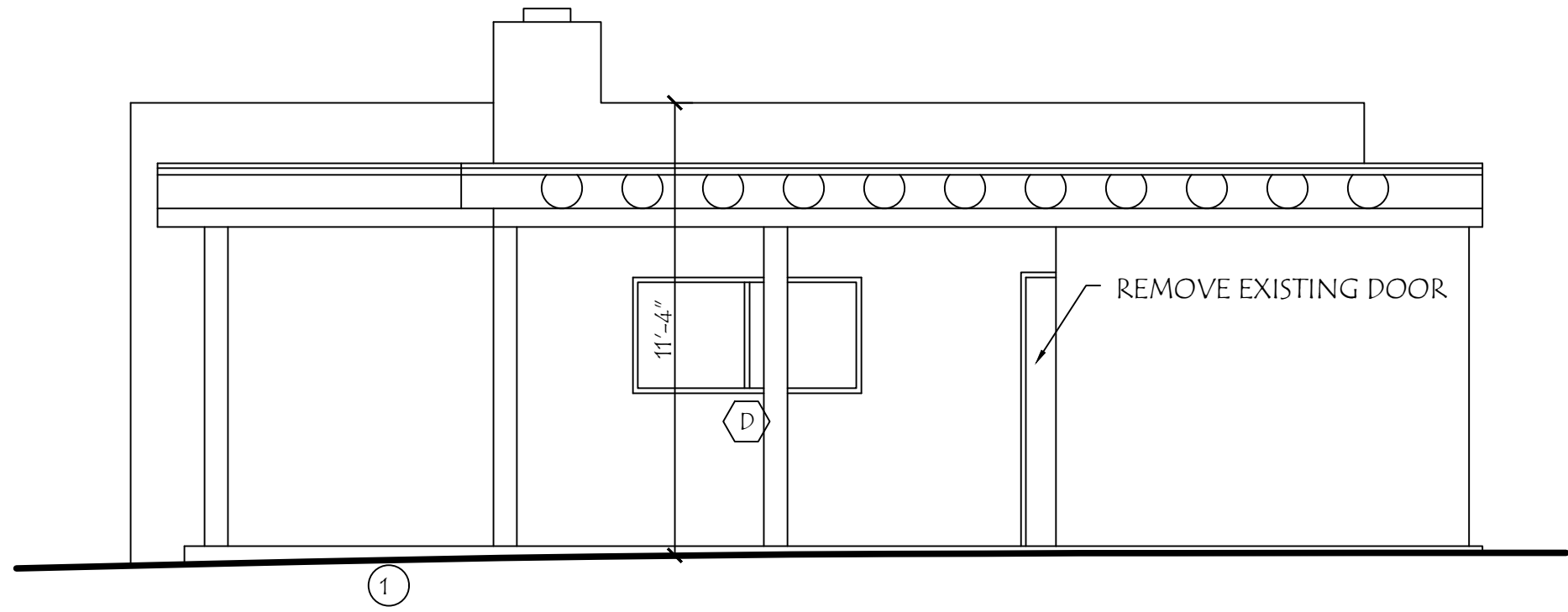


PROPOSED EAST ELEVATION

1/4"= 1'-0"

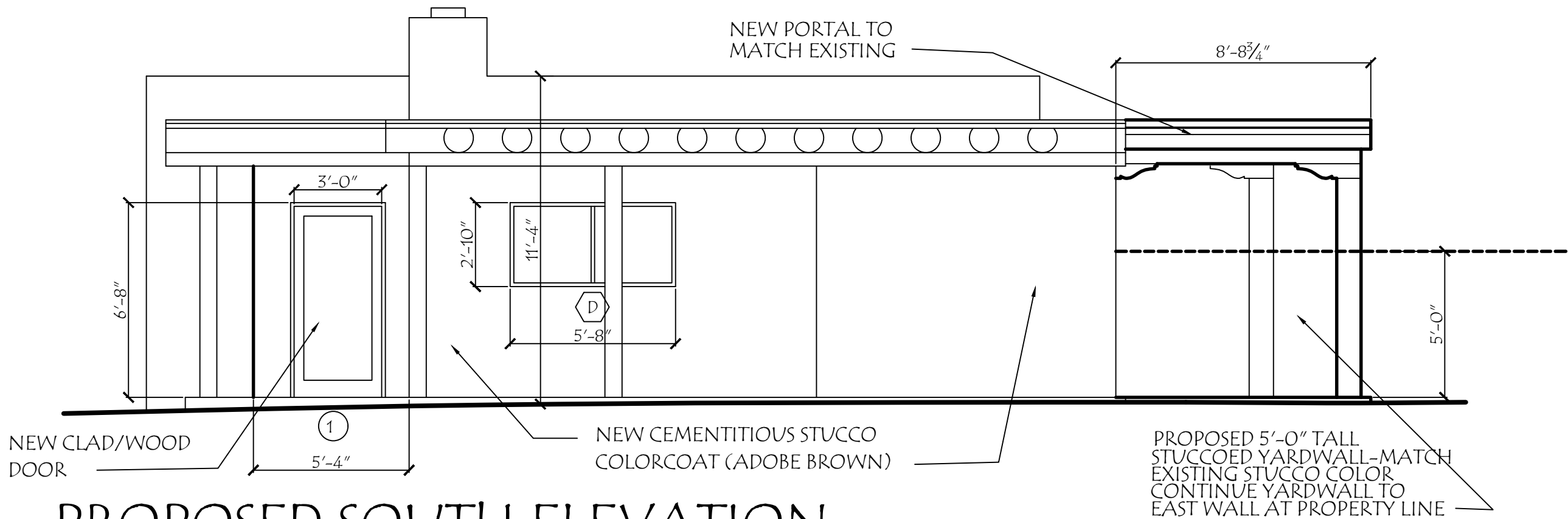


DATE	DATE	DATE	DATE	DATE
REVISION	BY	DRAWN BY	P.L.R.	DATE
6/30/2025	BR	6/30/2025	SUBMITTAL	6/30/2025
JOB NAME: MONTANO-TORRES ADDITION AND RENOVATIONS				
104 CAMINO MATIAS SANTA FE, NEW MEXICO				
JOB #:				



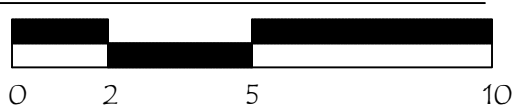
EXISTING SOUTH ELEVATION

1/4"= 1'-0"



PROPOSED SOUTH ELEVATION

1/4"= 1'-0"

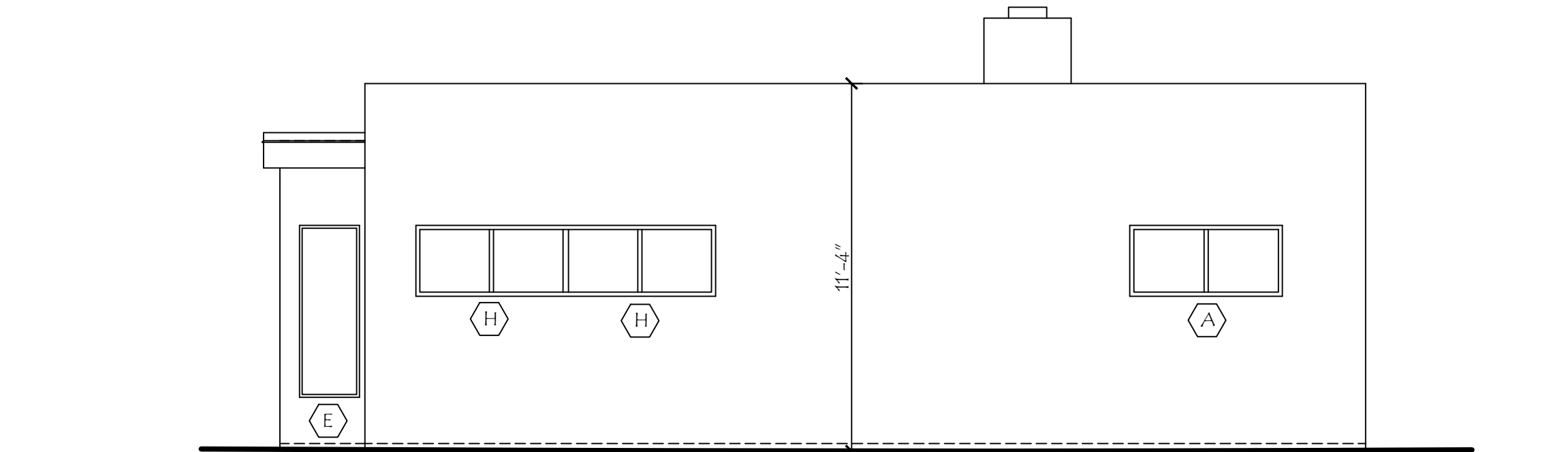


EXISTING & PROPOSED SOUTH ELEVATIONS

DATE	DATE	DATE	DATE	DATE
REVISION	BY	DRAWN BY	P.Z.R.	JOB NAME
		BR	SUBMITTAL	MONTANO-TORRES ADDITION AND RENOVATIONS
			6/30/2025	104 CAMINO MATIAS
				SANTA FE, NEW MEXICO

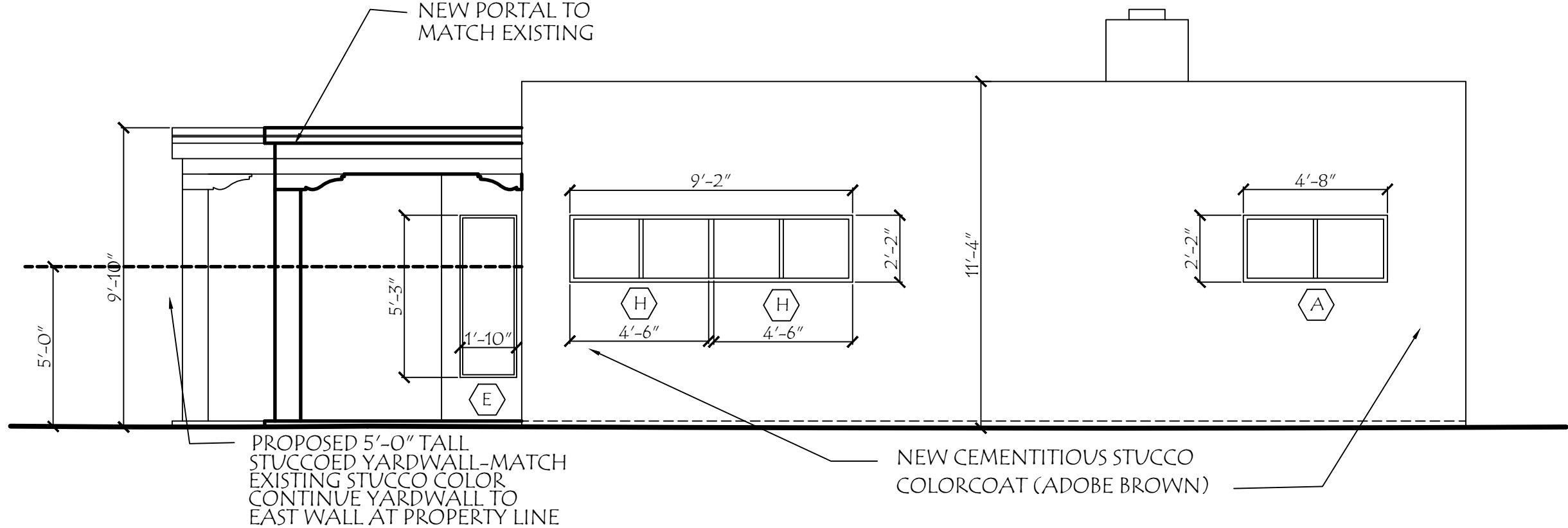
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11 CAMINITO SANTERCA SANTA FE, NEW MEXICO 87505

A7



EXISTING NORTH ELEVATION

1/4"=1'-0"



PROPOSED NORTH ELEVATION

1/4"=1'-0"



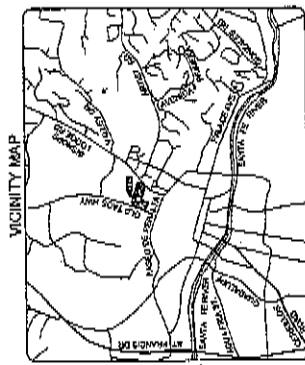
EXISTING & PROPOSED NORTH ELEVATIONS

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DATE	DATE	DATE	DATE	DATE
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			6/30/2025	104 CAMINO MATIAS
				SANTA FE, NEW MEXICO

A8

PLAZA DEL MONTE DEVELOPMENT PLAN TRACT B ON CAMINO SANTIAGO AND CAMINO MATIAS



GENERAL NOTES

1. METES AND BOUNDS DESCRIPTIONS OF LOTS, ROADWAYS, DRAINAGE, UTILITY, AND ACCESS RIGHTS OF WAYS AND/OR EASEMENTS ARE DESCRIBED ON THE SUBDIVISION PLAT.
2. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SPC 1987 AND SUBSEQUENT AMENDMENTS.
3. PER SPC § 14-7.2, TABLE 14-7.2-1, BUILDING SETBACKS ARE ESTABLISHED BY THIS DEVELOPMENT PLAN AND SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
4. NEW STRUCTURES AND/OR ADDITIONS ARE NOT LIMITED TO STRUCTURES SHOWN HEREON, AND FUTURE DEVELOPMENT IS SUBJECT TO ESTABLISHED BUILDING SETBACKS, APPLICABLE PROVISIONS OF SPC CHAPTER 14, AND BUILDING PERMIT REQUIREMENTS.
5. SITE AND INDIVIDUAL LOT FENCING LOCATIONS TO BE DETERMINED AT TIME OF BUILDING PERMIT.
6. DEVELOPMENT OF LOT 23 IS SUBJECT TO THE WATER ALLOCATION AND/OR WATER OFFSET RETENTION PROVISIONS OF ORDINANCE NO. 2002-29 AND RESOLUTION 1483 AT THE TIME OF PERMIT APPLICATION OR WATER ALLOCATION REQUEST.
7. ACCESSIBILITY FEATURE DESIGN WITHIN THE SITE SHALL COMPLY WITH NEW ADA COMPLIANCE OF TRANSPORTATION (INVO) PEDESTRIAN ACCESS ROUTE DETAILS (SERIAL 603) OR MUST DEMONSTRATE COMPLIANCE WITH APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS BY OTHER MEANS AS PROVIDED IN THE PERMITTED CONSTRUCTION DOCUMENTS.
8. FENCES, WALLS OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
9. ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE PLANNING AND LAND USE DEPARTMENT BEFORE CONSTRUCTION.
10. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF THE COSF ORDINANCE NO. 2008-02 (IMPACT FEES).
11. PROPERTY DEVELOPMENT, BOTH PUBLIC AND PRIVATE OWNERSHIP, SHALL COMPLY WITH THE COSF ORDINANCE NO. 2002-20 (TERRAIN AND STORMWATER MANAGEMENT) AT THE TIME OF BUILDING PERMIT APPLICATION.
12. PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8.4 (FVS), PLANT MATERIAL STANDARDS, WHEREIN PRESERVATION OF SIGNIFICANT TREES IS REQUIRED.
13. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL PERMANENT CONSTRUCTION PHASES AS PER IFC 1410.1.
14. PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED PLANNING AND LAND USE DEPARTMENT REQUIREMENTS.
15. PRIVATE PAVED AND UNPAVED PARKING WITHIN THE SUBDIVISION SHALL BE MAINTAINED BY THE PLAZA DEL MONTE HOMEOWNERS ASSOCIATION.
16. THIS DEVELOPMENT LIES WITHIN THE DOWNTOWN AND EASTSIDE HISTORIC DISTRICT.
17. THIS DEVELOPMENT LIES WITHIN THE SUBURBAN ARCHAEOLOGICAL REVIEW DISTRICT.
18. THE PROPOSED SANITARY SEWER SYSTEM SERVING THIS DEVELOPMENT IS PRIVATE AND WILL NOT BE MAINTAINED OR OWNED BY THE CITY OF SANTA FE.

DUST CONTROL NOTES

ALL ON-SITE DUST DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVISIONS MADE TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES.

ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS.

A PLAN, OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES SHALL BE PROVIDED TO THE CITY ENGINEER, OR HIS/HER DESIGNEE, FOR REVIEW AND APPROVAL. THE APPROVED SWPPP SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE.

THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

SOME BMPs SHALL INCLUDE:
1. REDUCTION OF VEHICLE SPEEDS: ESTABLISH A MAXIMUM SPEED LIMIT OR INSTALL TRAFFIC CALMING DEVICES TO REDUCE SPEEDS TO A RATE TO MITIGATE OFF-PROPERTY TRANSPORT OF DUST ENTRAINED BY VEHICLES.
2. THE MINIMIZATION OF DUST HEIGHT: DRIVERS AND OPERATORS SHALL UNLOAD TRUCK BEDS AND LOADERS OR EXCAVATOR BUCKETS SLOWLY AND MINIMIZE DUST HEIGHT OF MATERIALS TO THE LOWEST HEIGHT POSSIBLE, INCLUDING SCREENING OPERATIONS.
3. HIGH WINDS RESTRICTION: TEMPORARILY HALT WORK ACTIVITIES DURING HIGH WIND EVENTS GREATER THAN 30 MPH IF OPERATIONS WOULD RESULT IN OFF-PROPERTY TRANSPORT.
4. RESTRICT ACCESS: RESTRICT ACCESS TO THE WORK AREA TO ONLY AUTHORIZED VEHICLES AND PERSONNEL.

IN THE EVENT THE ABOVE PRACTICES ARE INEFFECTIVE TO PREVENT OFF-PROPERTY TRANSPORT, THE PERSON, OWNER OR OPERATOR SHALL USE ONE OR MORE OF THE FOLLOWING BMPs:

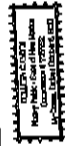
1. WET SUPPRESSION: APPLY WATER TO DISTURBED SOIL SURFACES, BACKFILL MATERIALS, SCREENINGS AND OTHER DUST GENERATING OPERATIONS AS NECESSARY AND APPROPRIATE CONSIDERING CURRENT WEATHER CONDITIONS, AND PREVENT WATER USED FOR DUST CONTROL FROM ENTERING ANY PUBLIC RIGHT-OF-WAY, STORM WATER DRAINAGE FACILITY, OR WATERCOURSE.
2. WIND BARRIER: CONSTRUCT A FENCE OR OTHER TYPE OF WIND BARRIER TO PREVENT WIND EROSION OF THE GRADED OR DISTURBED SURFACE.
3. VEGETATION PLANT VEGETATION APPROPRIATE FOR REPAIRING SOILS OR CREATING A WIND BREAK.
4. SURFACE ROUGHENING: STABILIZE AN ACTIVE CONSTRUCTION AREA DURING PERIODS OF INACTIVITY WHEN VEGETATION CANNOT BE IMMEDIATELY ESTABLISHED.
5. COVER AND/OR COVER MATERIALS SUCH AS TACKPAPER, EROSION CONTROL MATS, GEOTEXTILES, GRAVEL, VEGETATION (WHEN APPROPRIATE), COLD MILLINGS, ETC. DURING PERIODS OF INACTIVITY AND PROPERLY ANCHOR THE COVER.
6. SOIL RETENTION: STABILIZE DISTURBED OR EXPOSED SOIL SURFACE AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS OR WHILE VEGETATION IS BEING ESTABLISHED.

AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED, ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

PLAZA DEL MONTE, LLC

THE FOREGOING WAS SIGNED, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY E. LARRY LUTJEN THIS 15 DAY OF October, 2012.



NOTARY PUBLIC

MY COMMISSION EXPIRES

STORMWATER AGREEMENT

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORMWATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES. THE CITY HAS THE RIGHT OF ACCESS FOR INSPECTION OF SAID IMPROVEMENTS. THE CITY HAS THE RIGHT, IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONALITY OF THE DRAINAGE FACILITY. SUCH WORK BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) HEREBY AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNING.

PLAZA DEL MONTE, LLC

THE FOREGOING WAS SIGNED, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY E. LARRY LUTJEN THIS 15 DAY OF October, 2012.



NOTARY PUBLIC

MY COMMISSION EXPIRES

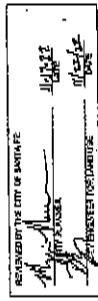
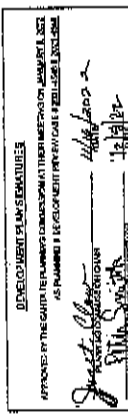
1. DRAINAGE FACILITY MAINTENANCE SCHEDULE SHALL BE AS FOLLOWS:
a. ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
b. THE DRAINAGE FACILITIES MAINTENANCE SCHEDULE SHALL BE AS FOLLOWS: MARCH 15TH, SEPTEMBER 15TH AND AFTER STORMS OF ONE INCH OR GREATER.
2. FLUSH ALL COLLECTORS AND DRAIN PIPES TO REMOVE SEDIMENT AND VEGETATION.
a. FLUSH STORM DRAIN MANHOLES AND DRAIN PIPES.
b. FLUSH STORM DRAIN MANHOLES AND DRAIN PIPES.
c. CHECK POND DRAINING AND REPAIR INTEGRITY. REPAIR AS NECESSARY.
d. CHECK FOR SOIL EROSION WITHIN AND AROUND ALL SWALES, FILL SLOPES, CUT SLOPES AND RETAINING WALLS. UNSTABILIZED SOILS SHALL BE STABILIZED WITH VEGETATION, ROCK PLACING OR EROSION MATS.

COUNTY OF SANTA FE } 35
STATE OF NEW MEXICO }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS 15 DAY OF OCTOBER, 2012 AT SANTA FE COUNTY, NEW MEXICO.

WITNESS MY HAND AND SEAL OF OFFICE
KATHARINE CLARK
COUNTY CLERK SANTA FE COUNTY, N.M.

DEPUTY



JENKINS & GAVIN
LEAD THE PROJECT. MAKE IT HAPPEN.
151 West Alameda, Suite 121
Santa Fe, NM 87501
303.753.7344

CITY REVIEW		DATE
ENGINEER	REVIEWED	
PLANNING	REVIEWED	
STREETS	REVIEWED	
WATER	REVIEWED	
SEWER	REVIEWED	
ENVIRONMENT	REVIEWED	
FINANCE	REVIEWED	
LEGAL	REVIEWED	
ADMINISTRATIVE	REVIEWED	
CITY CLERK	REVIEWED	

CITY USE ONLY

2021-1516
CASE # 2021-1516

FINAL DEVELOPMENT PLAN AND
FINAL SUBDIVISION PLAT SUBMITTAL FOR
PLAZA DEL MONTE

DEVELOPMENT PLAN
SHEET 1 OF 2

DATE: NOVEMBER 2021
SCALE: 1"=50'

546: 04

PROPOSED SIDEWALK
EXISTING SIDEWALK
PROPOSED DRIVEWAY
PROPOSED LOT LINE

FINAL DEVELOPMENT PLAN AND
FINAL SUBDIVISION PLAT SUBMITTAL FOR
PLAZA DEL MONTE

DEVELOPMENT PLAN
SHEET 2 OF 2