

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

- k. **2025-011549-HDRB, 527 Agua Fria St. Units 1, 2, & 3**, Westside-Guadalupe Historic District, Significant, Osage Design Studio, agent for Neirika, LLC, owner, requests a status review with primary façade designation, if applicable.

Ms. McCulley presented the case and staff recommendation. Staff recommended that the historic structure be maintained for its association with events or persons that are important on a local level and the historic integrity of the building, with all facades as primary, per 14-5.2(C) designation of significant, contributing, or noncontributing status within historic districts.

Zoom session went offline at 12:00AM

Delores Vigil, Santa Fe, New Mexico, was sworn in. Commented on project.

Public Comment:

Unknown of any public comment. No recording.

Board Action:

Unknown of who made the motion and seconded, no recording. The Historic Districts Review Board moved in case 2025-011549-HDRB at 527 Agua Fria St. Units 1, 2, & 3 to designate the residence as contributing with the south facades R1 and R3 and the east Facades R2, R4, R5 and R6 as primary, including the portal on the southeast corner, the alcove over the front south facing exterior, including all windows and doors, and excluding any non-historic materials. The motion passed. No recording of the vote.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2025-011549-HDRB, 527 Agua Fria St. units 1, 2, & 3, Westside-Guadalupe Historic District,
DESC: Significant, Osage Design Studio, agent for Neirika, LLC, owner, requests a status review with primary façade designation, if applicable.

CASE NUMBER: 2025-011549--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 527 AGUA FRIA ST 1
Santa Fe, NM 87501

CONTACTS: Applicant

DOLORES VIGIL

P.O. BOX 1835
SANTA FE, 87504

Applicant

Osage Design Studio

1216 Vitalia Street 1216 Vitalia
Street
Santa Fe, NM 87505

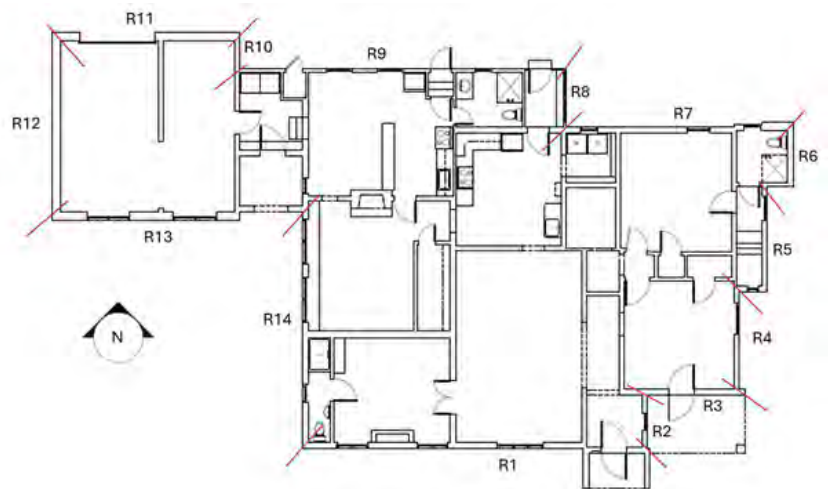
BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Dec 09, 2025. The decision of the Board was to designate the residence as contributing with the south façades R1 and R3 and the east façades R2, R4, R5, and R6, including the portal in the southeast corner and the alcove over the front south-facing exterior door, including all windows and doors, but excluding any non-historic materials.

For further information please call 505-955-6605.

Sincerely,

Lani McCulley



NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

City of Santa Fe, New Mexico

memo

DATE: December 9, 2025

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director *HL*
Maggie Moore, Assistant Land Use Director *MRM*
Gary Moquino, Historic Preservation Division Manager *GM*

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LM*

2025-011549-HDRB, 527 Agua Fria St. units 1, 2, & 3, Westside-Guadalupe Historic District, Significant, Osage Design Studio, agent for Neirika, LLC, owner, requests a status review with primary façade designation, if applicable.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- ☒ District Standards & yard wall & fence standards.
- ☒ Historic Inventory Form
- ☒ Zoning Review Sheet
- ☒ Other: ownership history documents

APPLICANT SUBMITTALS

- ☒ Proposal Letter
- ☒ Site Plan/Floor Plan
- ☒ Elevations
- ☒ Photographs
- ☒ Other: 2025 HCPI

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be maintained as significant for its association with events or persons that are important on a local level and the historic integrity of the building, with all facades as primary, per 14-5.2(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

Sample motions:

One motion for the status and primary façade designation is required.

- a. In case 2025-011549-HDRB, for 527 Agua Fria Units 1, 2, and 3, to maintain status of the residence, as significant, designating all facades as primary.
- b. In case 2025-011549-HDRB, for 527 Agua Fria Units 1, 2, and 3, designate/downgrade the main residence as contributing and designate facades (South (R13, R1 (including/excluding the portal, and R3 (including/excluding the east portal and R2 east façade), East (R2 (including/excluding the portal), R4, R5, R6, R8 (on the north elevation), and/or R10 (on the north elevation)), North (R7, R9, and/or R11), West (R12 (garage wall), R14 (residence wall)) as primary façade(s).
- c. In case 2025-011549-HDRB, for 527 Agua Fria Units 1, 2, and 3, downgrade/designate the main residence to non-contributing.

The property lies within the Historic Downtown Archaeological Review District. See Chapter 14, SFCC, Article 14-3.13(B)(1). There may be archaeological concerns associated with this project, and archaeological clearance may be required.



Figure 1: Site Location

BACKGROUND & SUMMARY:

Streetscape:

The streetscape for this property runs along Agua Fria from just east of De Fouri Street to Romero Street. The street is lined with sidewalks with properties having low stucco yard walls and a couple of rock yard walls. Some of the yard walls are topped with metal fencing. There is a single chain link fence, and to the west of Closson Street, there are some coyote fences. The yard walls and

fences often feature wooden pedestrian gates. There are no vehicle gates. The average is forty-three inches in height, which is the maximum allowable height.

The properties tend to be narrow and long, with multiple buildings on most sites. The buildings vary in distance from the street, with some right up to the sidewalk and others set back twenty to thirty feet from the street. The buildings are a combination of residential and commercial spaces.

The buildings are a variety of Spanish Pueblo Revival, Territorial, and Vernacular style flat roof homes, as well as a variety of pitched roof homes. The homes are in lighter brown stuccos with white, brown, and blue trims and natural wood elements. There are several properties with metal elements as well.



Figure 2: Street View of Residence

Site Description:

The 3,017 sq. ft. multi-family residence at 527 Agua Fria units 1, 2, and 3 sits on a 0.418-acre lot and was constructed between 1908 and 1912. While the GIS map shows the residence as significant to the Westside-Guadalupe Historic District, the Historic Cultural Properties Inventory from 1997 states that the HCPI was not adopted, and there is no case for status on this property since then. If the property was not reviewed for status in 1997 or since, the property would be listed as contributing, as it was before 1997. Therefore, the residence is coming forward for clarification of status.

According to the 1997 HCPI, the residence has been listed on the national register since 1997 and as a contributing resource to the Guadalupe Neighborhood in the National Register of Historic Places nomination of the district in 1999. The accessory dwelling unit at the rear of the lot is listed as non-contributing, but is not subject to this case. According to the 2025 HCPI, the structure is located on a 1908 Sanborn Fire Insurance Map and is not listed on the state register or the national register.

Per the 1997 HCPI, the residence is constructed in a Mediterranean-style architecture with thick, stucco-plastered walls, red-tiled roofs, and ornate archways, with large, symmetrical facades designed for warmth and indoor-outdoor living. The 2025 HCPI calls this a New Mexico

Vernacular style; otherwise, the descriptions of the existing residence are the same. However, there are differences in the history of the structure's construction.

The roof is a red metal tile roof with gables of various heights, gable horns, and exposed rafters. The roof heights vary, with the lowest at 7'-10" and the highest at just under 20'-0". According to the 1997 HCPI, the roof was changed to the existing tile roof in 1920-1925. According to the 2025 HCPI, *"the original roof was a flat roof with drainage to the north. At some point, a gabled roof was added, raising the elevations of the residence. It is not evident if this was a clay tile roof, but it now has a metal roof simulating a tile roof. The cross-gable roof is offset. The lower metal roofs covering the front porches and side and back additions have a combination of metal tile and standing seam. The roof over the garage and connector is a low-slope standing-seam metal roof."*

The walls are concrete and stucco in light tan, most windows are 8-lite wood casements in pairs and trios, and a few picture windows. The doors are wood, with the front south door being curved to match the curve in the portal. The south portal has a gable roof with a round arched opening. The southeast corner portal has a shed roof and stucco piers. The yard wall along the street is low stucco with a wood pedestrian gate, and the rear fencing is a 6'-0" high plank wood fence.

According to the 1997 HCPI, the structure has had few alterations since its construction in 1912. The roof was changed in 1920-1925. The diamond vents had glass installed behind them at an unknown time. The previous garage was connected to the main structure with an addition, which is understood to be the 1984 northeast addition under case H-84-343, though the file is no longer available for verification. However, it does show in the 1998 Sanborn map provided in the 2025 HCPI. The roof was approved to be replaced in 2024.

According to the 2025 HCPI, *"The original house was built sometime before 1908. An addition was constructed at the rear of the house (northeast side) sometime after 1908 and before 1913. A much larger addition was constructed on the west side of the house sometime after 1913 and before 1921. The new southwest corner of the house is constructed of adobe. A covered front porch was added at the southeast corner of the house. Another large addition was added to the back of the house, possibly an enclosed back porch with a lower roof. A separate garage was added to the west and access to a cellar on the east side of the house sometime after 1921 and before 1930. It is estimated that the double gable roof was added after 1930, and a small restroom addition was added at the top of the cellar stair on the northeast corner of the house."*

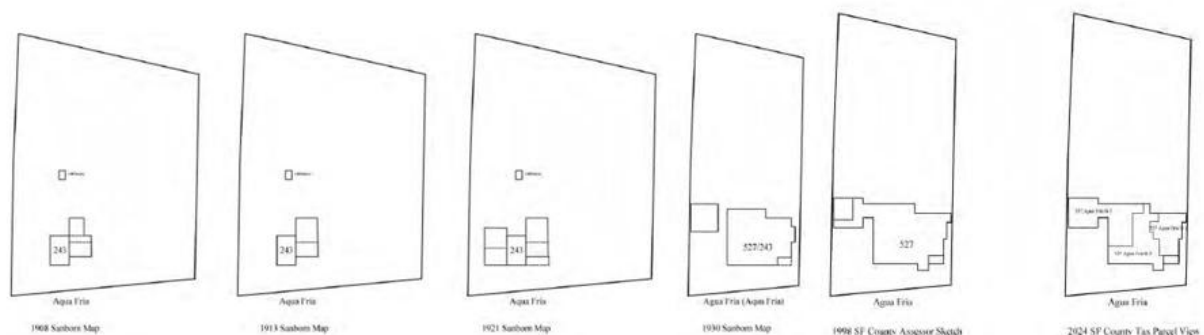


Figure 3: Sanborn Maps from the 2025 HCPI

While the HCPIs do not match, they do both conclude that the residence is listed in the Santa Fe Historic District State Register from September 29, 1972 (State Register #260) and to the National Register from July 23, 1973 (National Register # 73001150), and is a contributing structure to the Westside-Guadalupe Historic listing and the additions to the structure are all historic save the connection between the garage and residence. The maps do not provide proof of a flat or pitched roof, but if the roof began as a flat roof, it was historically altered to a pitched roof historically.

Mrs. C. W. Dudrow is listed as the owner of the property on the 1912 Kings Map. The 1985 HCPI shows the residence was purchased by A. C. Koch in 1912 from the Dudrow Estate. A. C. Koch or a Koch family member is listed as the owner of the property from 1928 through 1964. Mrs. Dorothea K Dunakin, a nurse, was associated with the property from 1944 through 1951. No further information on these residents is provided by the HCPIs.

Staff researched both C.W. Dudrow and A. C. Koch to determine their contributions to the city of Santa Fe. Charles W. Dudrow came to Santa Fe between 1869 and 1872 and was involved in the lumber, coal, and transfer business in Santa Fe. He was part-owner with his wife's father of the Dudrow and Bear Ice, Transfer, and Livery in 1881. The business was located near the train depot and Our Lady of Guadalupe Church and was part of the beginning of the development of the area. The Dudrow warehouse became the Santa Fe Builders Supply Company (Sanbuso) in 1916 and is now the New Mexico School for the Arts and Sciences. Dudrow is buried in Fairview Cemetery.

Staff found that Adolphe Christian Koch (died in 1939) resided in Santa Fe with his wife Alice Broche Koch (died in 1982 at 106 years old) and their son Ferdinand Adolph Koch. Both are buried in Fairview Cemetery. Ferdinand A Koch was a prominent figure in Santa Fe's history, active in the dry cleaning business, land sales, including the Santa Fe Ski Basin, and various civic associations. He is listed in the New Mexico Ski Hall of Fame for his negotiation of the deal for the Ski Basin. He died in 1982. Jamie Koch is the son of Ferdinand Koch and is a native of the City of Santa Fe. Jamie Koch served as finance chairman for Governors Bruce King and Bill Richardson, was State Chair of the Democratic Party, and is a former state representative.

These two families were important to the establishment of Santa Fe and still represent Santa Fe with their community efforts.

The residential building is currently a three-unit structure that is being converted to a main residence with a guest house. It currently has an interior-only construction permit for the conversion work that is in progress. The addressing from multi-family to single-family will be changed after the conversion is complete.

PREVIOUS CASE SUMMARIES:

ARC:

No Archaeological clearance has been issued for this property.

HDRB:

In case H-84-343, the residence was approved for the construction of an addition on the northeast side of the structure. There are no documents on file in the Historic Preservation Division.

ADMINISTRATIVE:

In case 2024-009160-ADMIN, the residence was approved for a reroof.

APPLICANT'S REQUEST:

The applicant requests:

1. Status review with primary façade designation, if applicable for the residence.

The 2025 HCPI recommends a contributing status, while the 1997 HCPI recommends a significant status for the residence. In 1997, the residence was found to be a listed property. However, in 2025, it no longer holds that listing. The provided HCPIs do not address the people who resided in the structure. Staff did short research on the residents of the structure and found that they are of importance to Santa Fe enough that section 14-12(A) “for its association with events or persons that are important on a local, regional, national, or global level” is met. Since the residence has not been altered since 1997, when it was on the register, staff believe that it could still be listed if the listing for the residence had been maintained. All the additions and alterations to the structure are historic outside of the small addition that connects the residence to the garage. Therefore, the staff disagrees with the contributing recommendation and finds that this structure meets the requirement to be listed as significant.

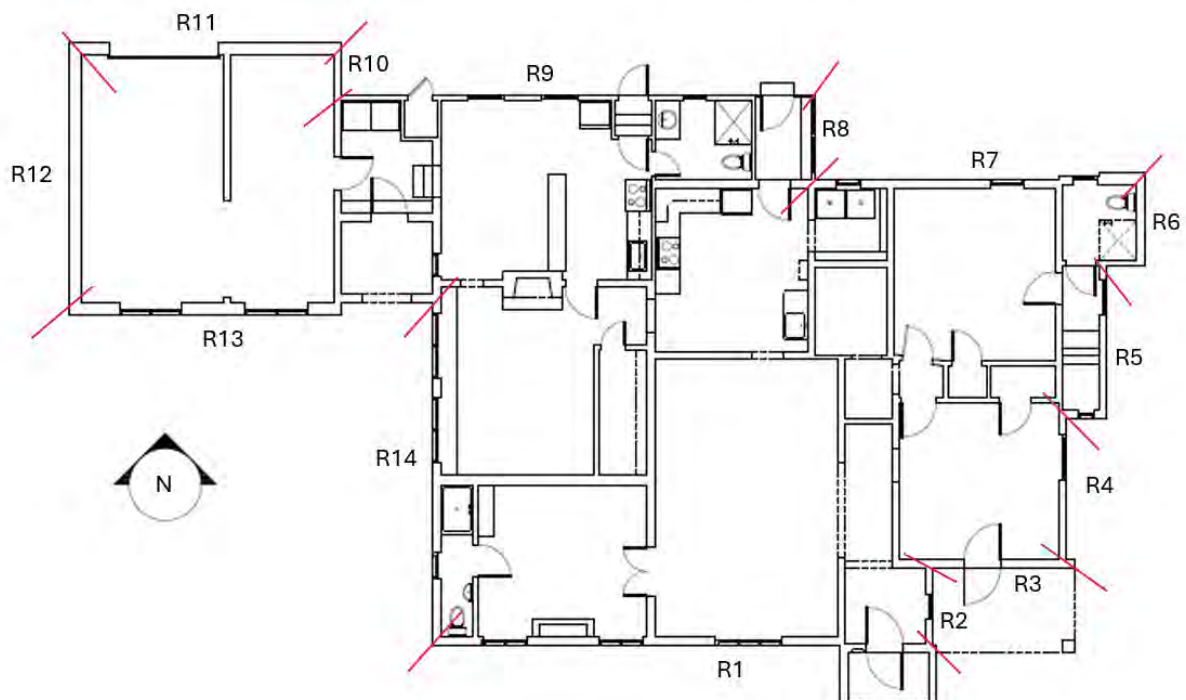


Figure 4: Façade Diagram

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture, and material between *buildings* of historic design and those of more modern design.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

(Ord. No. 2004-26)

(1) Purpose and Intent

It is intended that:

- (a) Each *structure* is to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken.
- (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.

(2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts

(a) Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of *structures* located in the Historic Districts.

(b) Board Authority to Review Status Designation

- (i) The Board is authorized to change the status of a *structure* or to designate a status for a *structure* with no status designated.
- (ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national, or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older, that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing *structure* in a manner that will make the addition indistinguishable from the existing *structure*.
- (b) Additions to *buildings* that meet the standards of Subsection 14-5.2(E) shall continue to meet those standards set forth in Subsection 14-5.2(E) in addition to the standards set forth in this section.
- (c) Additions are not permitted to *primary façades*.
- (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of *structures* instead of attaching them to the significant or contributing portion.
- (e) The height of additions:
 - (i) For significant and *landmark structures* shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.
 - (ii) For contributing *structures* shall be no more than one additional *story* higher than the existing *structure*. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the *structure*. When an additional *story* is to be placed upon an existing contributing *structure*, that footprint may be no greater than fifty percent of the footprint of the existing *structure*, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional *story* shall not exceed twelve (12) feet from the existing rooftop to the highest point of that *story*.

(3) Remodeling to Increase Height; Rooftop Appurtenances

- (a) For *remodeling* of existing significant and *landmark structures*, no increase in height of the *structures* is permitted. (For standards relating to additions to existing *structures*, see paragraph (2) above.)
- (b) For significant and *landmark structures*, *publicly visible* rooftop appurtenances, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, shall not be added, nor shall the parapet be raised to conceal the *rooftop appurtenances*. For contributing *buildings*, solar collectors, clerestories, decks, or mechanical equipment if *publicly visible* shall not be added.

(4) Porches and Portals

Existing *porches* or *portals* shall not be enclosed.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing, and *landmark structures*, architectural features, finishes, and details other than doors and windows shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical, or pictorial evidence.

(6) Roofs

The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the *structure*.

(8) Archaeological Resources

Discovery of archaeological resources made during the historic districts review process shall be referred to the archaeological review committee.

(9) Height, Pitch, Scale, Massing, and Floor Step backs

The height, pitch, *scale*, and massing of any *structure* in a historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.

(a) Applicability

The following sections identify specific areas and specific *projects* subject to this section. Planning and land use department staff shall determine whether or not properties are included within this section. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

- F. When the proposed *building*, *yard wall*, or fence is located in a *streetscape* that includes no *buildings*, *yard walls*, or fences, the height of the proposed *building* shall not exceed sixteen (16) feet. *Yard walls* and fences in this *streetscape* shall not exceed five (5) feet in height.

(c) Height

(ii) In exercising its authority under this section, the board shall limit the height of *structures* as set forth in this section. Heights of existing *structures* shall be as set forth on the official map of *building* heights in the historic districts.

- A. If a proposed *building* has a parapet, the façade shall not be in excess of two (2) feet of the average of the height of the façades in the *streetscape*.
- B. If the proposed *building* has a pitched roof, the ridge height of the proposed *building* shall not be in excess of two (2) feet of the average of the ridge height of the pitched roofs in the *streetscape*.
- C. *Yard walls* and fences shall be limited to a height that does not exceed the average of the height of other *yard walls* and fences in the *streetscape*.
- D. Pursuant to Section 14-7.4(C), the height of any other *structure* shall be limited to the allowable *building* height within the applicable *streetscape*, as defined in this section. (Ord. No. 2002-37 § 26)
- E. The height and dimension of signage are set forth in Section 14-8.10(H).
- F. The board may increase the allowable height for proposed *buildings* and additions located on a sloping site where the difference in the natural *grade* along the *structure's* foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable *streetscape* measured from natural or finished *grade*, whichever is more restrictive. This increase in height shall be constructed only in the form of *building* step-backs from the *street*.

(d) Pitch

If the determined *streetscape* includes over fifty percent of *buildings* with pitched roofs, the proposed *building* may have a pitched roof. A pitched roof is defined as a gable, shed, or *hipped roof*. The pitch of the roof shall match the predominant pitch extant in the *streetscape*.

(e) Scale

The height of a proposed *building* or addition, its façade length, and its roof form and pitch shall appear to be in proportion to the height, façade length, and roof form and pitch of *buildings* in the applicable *streetscape*, or the *building* on which the addition is proposed.

(f) Massing and Floor Step backs

The Board may require that upper floor levels be stepped back, to carry out the intent of this section; provided that the board in making such determinations shall take into account whether the height of the proposed *building*, *yard wall*, fence, or proposed step back of upper floor levels is in harmony with the massing of the applicable *streetscape* and *preservation* of the historic and characteristic visual

qualities of the *streetscape*. The Board shall also require that the *publicly visible* façades of the *structure* be in conformance with Subsections 14-5.2(E) through (H), and in meeting those requirements, may require that different floor levels be stepped back.

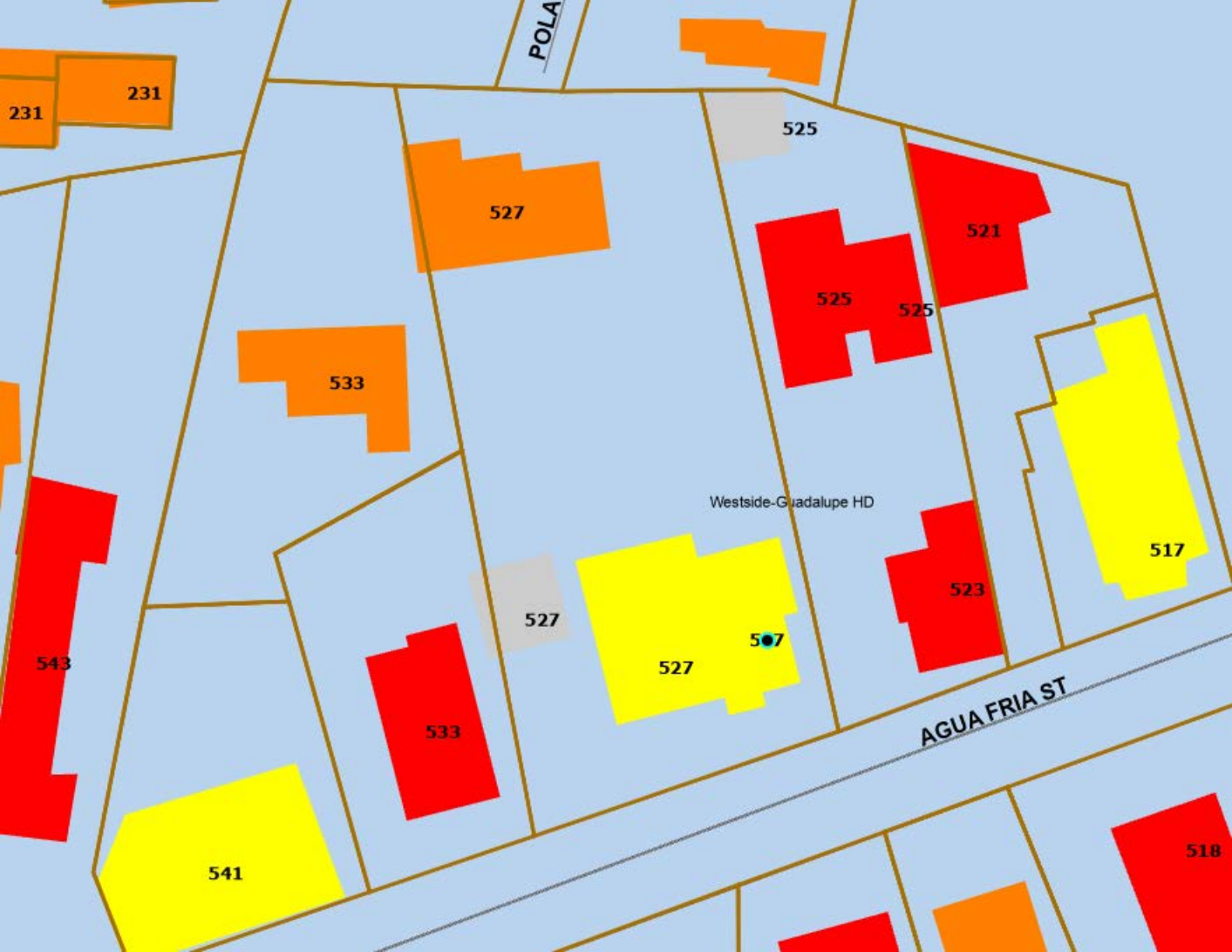
(I) **Westside-Guadalupe Historic District**

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, or stone shall be used as exterior *wall* materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior *wall* materials;
- (b) The color of stuccoed *buildings* shall predominantly be in browns, tans, local earth tones, and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and *portales* or *porches* may be emphasized by the use of white or other colors. Painting of *buildings* with a color that causes arresting or spectacular effects, or with bold repetitive patterns, or using *buildings* as signs is prohibited. Murals, however, are permitted and may be referred to the *city arts board* for an advisory recommendation.
- (c) Roof form, *slope*, and shape. It is intended that *buildings* be designed to be "wall-dominated". "Wall-dominated" means that the *building's* geometry is more defined by *walls* than by roofs. *Buildings* with flat, gabled, shed, or *hipped roofs* can be designed as "wall-dominated" solutions and are allowed. The height of the roof above the *wall* shall be no greater than the height of the *wall*. Folded plate, hyperbolic, or mansard roofs are not allowed.
- (d) The use of solar and other energy-collecting and conserving strategies is encouraged. The use of large, glazed areas on south-facing *walls* for trombe *walls* or other solar collectors, direct gain, or other energy-collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened as follows:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in the case of ground solar collectors, by a *wall* or vegetation;
 - (vi) in the case of *wall* collectors, by enclosing by end or other *walls*;
 - (vii) other means that screen the collector or integrate it into the overall *structure*.
Non-glare materials shall be used in solar collectors.

- (e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problems.
 - (f) *Walls* and fences shall be of brick, *adobe*, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block *walls* are allowed. *Walls* of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not in the *street* frontage.
 - (g) *Greenhouses*
 - (h) Attached *greenhouses* that front on the *street* shall give the appearance of being integrated into the *structure* of the *building* or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding *greenhouses* that front on the *street* is prohibited. *Greenhouses* with slanting sides shall be bracketed at the ends, and that *greenhouses* made from enclosed *porches* or *portales* maintain the shape of the *porch* or *portal*.
 - (i) *Porches* and *portales* are encouraged;
 - (j) When parking spaces are required for commercial or multi-family *residential buildings*, they shall be placed to the rear or side of the building.
- (2) Walls; Fences; Solar Collectors; Administration
- Applications* for the erection, alteration, or demolition of *walls*, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the *application* for the building *permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

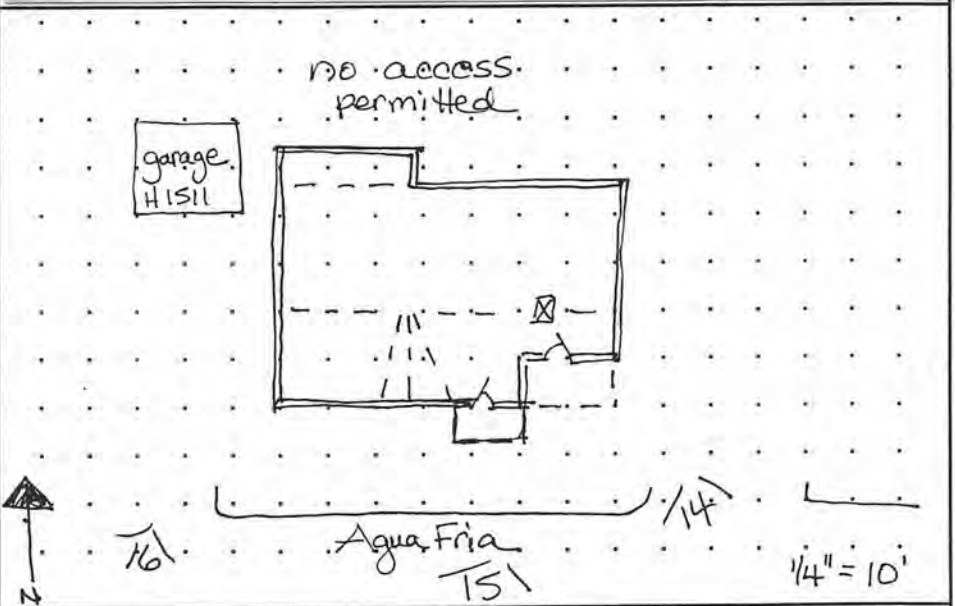


527 ABUA FRIA

THE ATTACHED SURVEY FORM REFLECTS HISTORIC BUILDING SURVEY WORK THAT WAS COMPLETED DURING APRIL - SEPTEMBER OF 1997. RESULTS OF THE SURVEY AS REFLECTED ON THE ATTACHED HAS NOT BEEN ADOPTED BY THE CITY COUNCIL. IT SHOULD BE CONSIDERED PRELIMINARY FOR PURPOSES OF PLANNING. THIS IS TRUE AS OF 9/97.

PLEASE SEE HEATHER OR MARY FOR MORE INFORMATION OR CLARIFICATION.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997

IDENTIFICATION	ADDRESS: <u>527 Agua Fria</u>		OLD ID NUMBER: 0516 <u>13581</u>
			SANTA FE ID NUMBER: <u>H1510</u>
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME:
	ZONE <u>12 13</u>	TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>24</u> SW 1/4 NW 1/4	
BUILDING DATA	FIELD MAP Santa Fe Historic Status Map 1996		 # 15 south
	DATE OF CONSTRUCTION: SOURCE(S) by <u>1928</u> ESTIMATE <u>city directory</u> by <u>1930</u> ACTUAL <u>Sanborn map</u>		
	ARCHITECTURAL STYLE: <u>Mediterranean</u>		
	USE:		
	HISTORIC: <u>residential</u>		
	OTHER _____		
	PRESENT: <u>residential</u>		
	OTHER <u>apartments</u>		
	SURROUNDINGS: <u>residential/commercial</u>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: ☒ SIMILAR _____ NOT SIMILAR		
BUILDING DATA	ASSOCIATED BUILDINGS ON SITE: ☒ YES _____ NO		
	WHAT TYPE? <u>garage</u>		
	IF INVENTORIED, LIST ID NUMBER(S) <u>H1511</u>		
	DEGREE OF REMODELING: ☒ MINOR _____ MODERATE _____ MAJOR <u>none evident</u>		
BUILDING DATA	EXPLAIN:		LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? ☒ YES _____ NO _____ ELIGIBLE ☒ CONTRIBUTING _____ NON-CONTRIBUTING LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? ☒ YES _____ NO _____ ELIGIBLE LOCAL DESIGNATION: <u>Downtown-Eastside</u> HISTORIC DISTRICT ☒ SIGNIFICANT _____ CONTRIBUTING _____ NON-CONTRIBUTING LOCAL LANDMARK _____ YES ☒ NO
	OVERALL CONDITION: _____ EXCELLENT ☒ GOOD _____ FAIR _____ DETERIORATED		
	BUILDING THREATENED? _____ YES ☒ NO		
	SIGNIFICANCE		

SURVEYED 8/97 BY DB

NEGATIVES WITH NMHPD ROLL # DB9 NEG # 14 TO 16

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

ROOFS & DRAINS	red (metal) tile roof with gables of various heights, gable horns, exposed rafters	
BUILDING WALLS	tan stucco/concrete	
FOUNDATIONS	not visible	APPROX. HEIGHT (FT.) 20
DOORS	wood french	
WINDOWS	8 light wood casements in pairs and trios; picture windows	
PORCHES OR PORTALES	SE corner - shed roof, stucco piers S - gable roof, round arched opening	
ARCHITECTURAL DETAILS		
FENCES/WALLS	low stucco wall, S; wd plank fence SE	
SITE FEATURES		
OTHER/ COMMENTS	Garage - flat roof, one overhead door, one filled w/ window, wd wall. Connected to house by arched stucco gateway.	

ADDITIONAL PHOTOGRAPHS



#16 SW

#14 SE

527 Aqua Fria 1908 Sanborn



APRIL 1908
SANTA FE
NEW MEX.

10

AQUA FRIA

DUDROW

C. W. DUDROW
WOOD YARD & WOOD SAWING

L. A. HUGHES LUMBER YARD

C. W. DUDROW LUMBER YARD

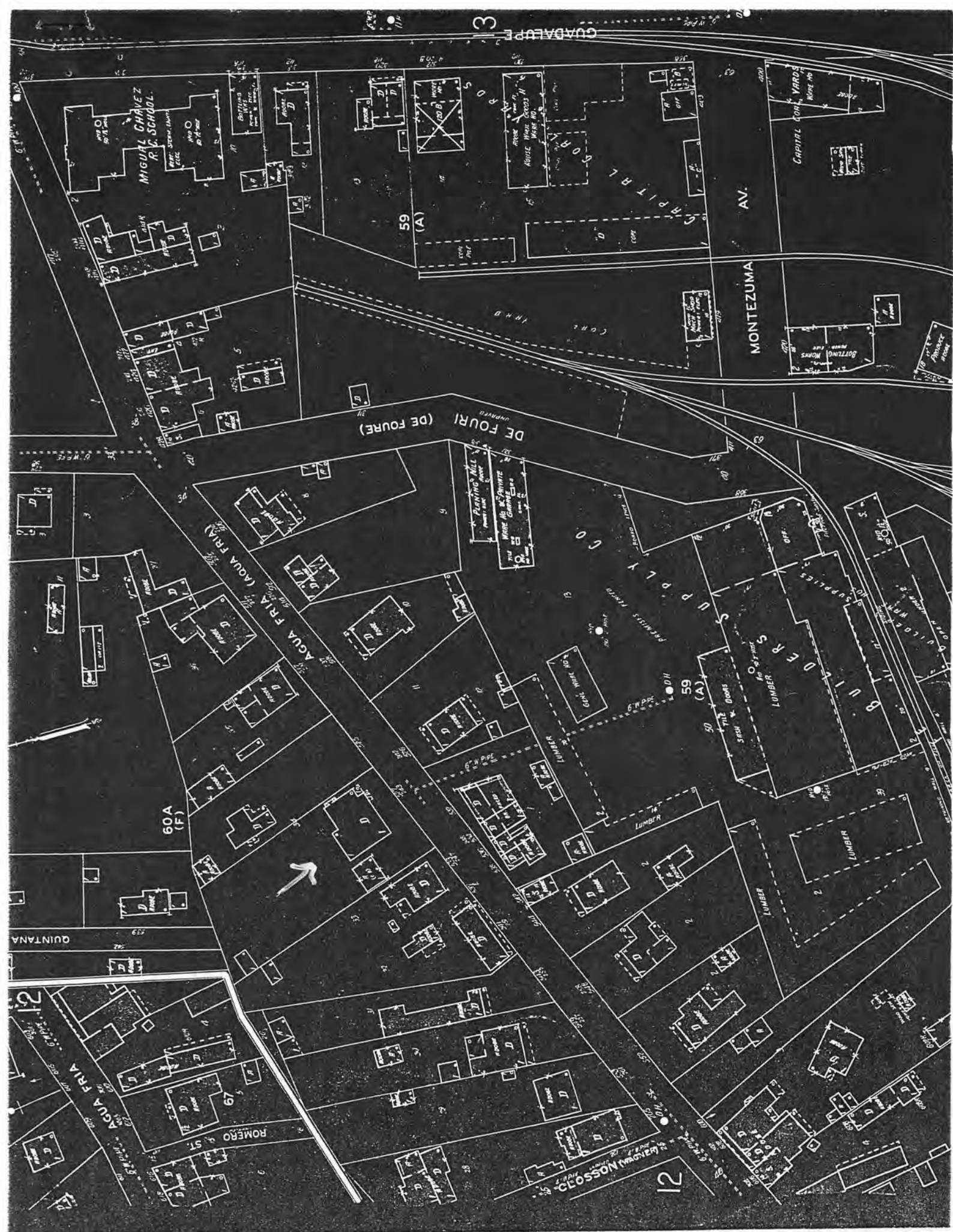
CONTINENTAL OIL CO
OIL WARE HO.

LEMP BREWING CO

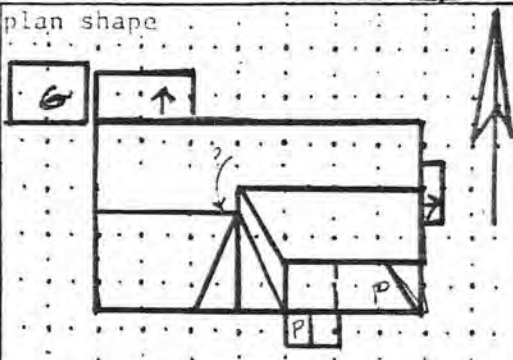
CARTWRIGHT-DAVIS CO
HAY WARE HO.

CO GUADALUPE

1930 Sanborn 527 Agua Fria



building threatened? yes	surveyed date <u>6/85</u> by <u>HMW</u>	county <u>SANTA FE</u>	ID no. <u>051613581</u>
field map <u>SFHD # 7</u>	number <u>581</u>	UTM reference easting zone 12 13	
location description <u>527 AGUA FRIA</u>		city/town <u>SANTA FE</u>	
		land grant/reservation	
building name		legal description tnsp <u>N S</u> range <u>E W</u> sec <u>1/4</u> <u>1/4</u>	
film roll by <u>SL</u> no. <u>SFHD # 20</u>	negative nos. <u>35</u>	loc. of neg. <u>HPB</u>	plan shape



date of construction
PRE 1912 ⁺ estimate _____ actual
source

use
present residential
other _____
historic residential
other _____

condition
☒ excellent ☐ good
☐ fair ☐ deteriorating

degree of remodeling
☐ minor ☒ moderate ☐ major
describe:

REAR ADDS, PORCH CHANGED.

surroundings

NES.

relationship to surroundings
☒ similar ☐ not similar

district potential
☐ yes ☐ no

significance
☐ eligible ☒ of ☐ none
if eligible, interest

why? CONTRAST.

associated buildings? ☐ yes
what type?

STUCCO 2 CAR GARAGE.

if inventoried, list ID nos.

see back? ☐ yes

Style <u>MED. REV.</u>	foundation material <u>CONC.</u>
	wall material/surface <u>ADOBES/ STUCCO</u>

architectural features

MIL MISSION TILE ROOF/ STABLE HURNS, EXP'D ROOFER ENDS,
DIAMOND VENTS.

CORNER PORCH W/ STUCCO'D PIERS, SEMI CIRC. SOLID

DOOR. IN SMALLER FRONT PORCH ENTRY.

8 LIGHT WD. CASM'TS., TAND, TRIPS.

2 LARGE PIC WINDOWS ON W.

N.V. SILENT ADDS @ REAR.

comments

A.C. KOCH BOUGHT THIS IN 1912 FROM C.W. DUDROW ESTATE.

HE ADDED TILE RF IN 1920-25. HOUSE HAS CROWN

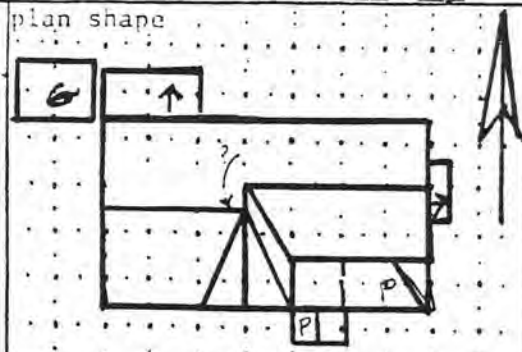
@ REAR - N.V.

IT IS MED REV. FOR ITS RF, BUT OBVIOUSLY EARLIER
CORE.

(KOCH'S DAUGHTER LIVES IN BACK @ 229 POLARO).

H151

building threatened? yes	surveyed date 6/85 by HMW	county SANTA FE	ID no. 051613581
field map SFHD #7	number 581	UTM reference zone 12 13	easting northing
location description 527 AGUA FRIA		city/town SANTA FE	
		land grant/reservation	
building name		legal description tnsp N S range E W sec	
film roll by SL no. SFHD #20	negative nos. 35	loc. of neg. HPB	plan shape



date of construction
PRE 1912 + estimate actual
source

use
present residential
other
historic residential
other

condition
✓excellent good
fair deteriorating

degree of remodeling
minor ✓moderate major
describe:

REAR ADDS, PORCH CHANGED.

surroundings

NES

relationship to surroundings
✓similar not similar

district potential
yes no

significance
eligible ✓of none

if eligible, interest
why? CONFLI

associated buildings? yes
what type?

STUCCO 2 CAR GARAGE

if inventoried, list ID nos.

see back? yes

style

MED. REV.

foundation material

CONC.

wall material/surface

ADOBRE/ STUCCO

architectural features

MIL MISSION TILE REN/ STABLE MURNS. EXT'D ROOFER ENDS

DIAMOND VENTS

CORNER PORCH W/ STUCCO & PIERS, SEMI CIRC. SOLID

DOOR. IN SMALLER FRONT PORCH ENTRY.

SLIGHT WID CASSETS, TAND, TRIPS.

2 LARGE PIC WINDOWS ON W.

N.V. SITES ADDS @ REAR.

comments

A.C. KOCH BOUGHT THIS IN 1912 FROM C.W. DUDMAN ESTATE.

HE ADDED TILE RE IN 1920-25. HOUSE HAS CROWN

@ REAR - N.V.

IT IS MED REV. FOR ITS RE, BUT OBVIOUSLY EARLIER CORE.

(Koch's daughter lives in back @ 229 POLKO).

Charles W. Dudrow Santa Fé County, New Mexico

Charles W. Dudrow, engaged in the lumber, coal and transfer business at Santa Fé, was born in Frederick, Maryland, in 1841 and became a resident of Santa Fé in 1870. For several years he was employed by Barlow & Sanderson, the noted overland stage line men as express messenger. In 1880 he engaged in his present business and for several years has conducted a lumber and coal yard at Cerrillos. His business interests are capably conducted and guided by sound judgment, so that his efforts result successfully. He is widely known throughout the northern part of the Territory and is active in public affairs. He was twice elected sheriff but declined to serve, and for several terms he was a member of the board of county commissioners and chairman of that body.

[Back](#) | [Santa Fe County Biographies](#)

Source: History of New Mexico, Its Resources and People, Volume II, Pacific States Publishing Co., 1907.

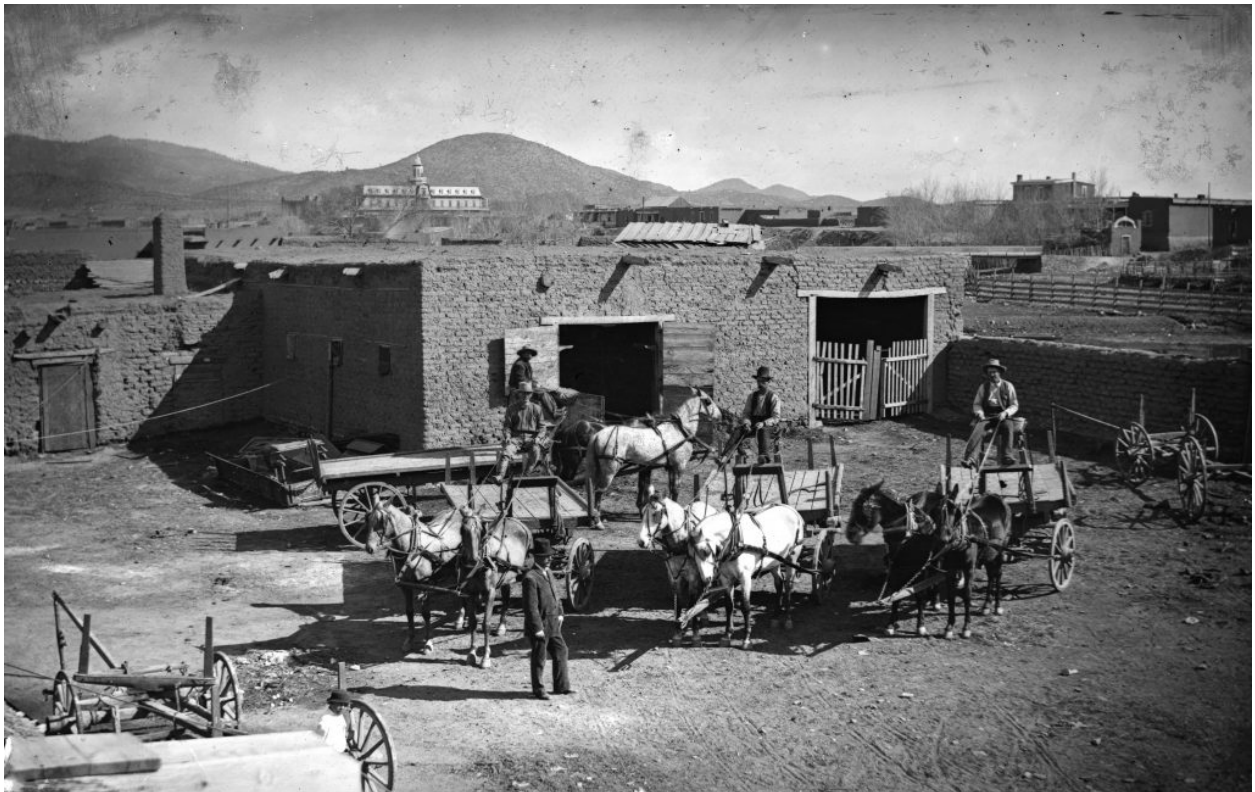


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Created 1996 by Charles Barnum & 2016 by Judy White

<https://historyinsantafe.com/santa-fe-railyard-history/>

Dudrow & Company

- [By Ana Pacheco](#)



Dudrow & Bears Transfer station in Santa Fe in the 1881.

The Dudrow & Bears Transfer Corral in 1881 was a family-run business. Charles W. Dudrow, came to Santa Fe between 1869 and 1872. He had been a driver for the Barlow and

Sanderson stage lines that ran from Pueblo, Colorado, to Santa Fe. When he arrived in Santa Fe he married Cora Bear and became a business partner with her father, Samuel Bear. They opened Dudrow & Bear Ice, Transfer and Livery. The business was located near the train depot and Our Lady of Guadalupe Church.

Fairview Cemetery



The family tombstone of Charles Dudrow at Fairview cemetery.

Long before the Dudrow transfer station Our Lady of Guadalupe mission church dominated the area. Originally built in 1777 on the banks of the Santa Fe River, the church closed in 1826 when it fell into disrepair. A new 575-pound bell complimented the church remodel in the 1850s. The altar screen included a replica of Our Lady of Guadalupe. The painting came to Santa Fe by ox train in 1783. The Santuario de Guadalupe is the oldest continuously standing shrine to Our Lady of Guadalupe in the United States.



Our Lady of Guadalupe is the patron saint of Mexico.

A hundred years after the original structure was completed, the old mission-style building was radically changed. After its alteration it resembled a typical east-coast church, with a steeple painted bright orange. The spire was centered above the entry instead of at the southeast corner where the bell tower once stood. Gothic-style windows were built into the walls and a white picket fence was erected to enclose the churchyard. One reason given for these drastic changes was the arrival of many English-speaking Catholics from the east, who brought their building style with them.

Railroad Comes to Santa Fe

The eastern edge of the Santuario grounds has also withstood many changes. In 1889, the Denver and Rio Grande Railroad offered narrow-gauge rail service between Santa Fe and Denver out of a nearby depot. The line closed its service in 1941. Once it closed the train rails and ties were torn from the Santuario's property line along Guadalupe Street.

- Categories: [Santa Fe History](#)
- Tags: [Dudrow & Bear Company](#), [Fairview Cemetery](#), [Our Lady of Guadalupe](#), [Santa Fe Historical Walking Tour](#), [Santa Fe railyard](#)

Please support Ana Pacheco's work at:

[Buy Me a Coffee](#)



Adolphe Christian Koch

8 February 1873–21 December 1939 • GMQY-XLS



Brief Life History of Adolphe Christian

When Adolphe Christian Koch was born on 8 February 1873, in Dunkirk, Chautauqua, New York, United States, his father, Karl Ernest Theodor Koch, was 37 and his mother, Dorothea Zimmerman, was 31. He had at least 1 son and 1 daughter with Alice Broche. He lived in Santa Fe, Santa Fe, New Mexico, United States for about 10 years. He died on 21 December 1939, in Albuquerque, Bernalillo, New Mexico, United States, at the age of 66.

[MORE](#)

Spouse and Children

**Adolphe Christian Koch**
1873–1939

**Alice Broche**
1875–1982

Children (2)

**Ferdinand Adolph Koch Sr**
1898–1982

**Dorthea Koch**

Photos and Memories (0)



Do you know Adolphe Christian? Do you have a story about him that you would like to share? [Sign In](#) or [Create a FREE Account](#)

Parents and Siblings

**Karl Ernest Theodor Koch**
1835–1913

**Dorothea Zimmerman**
1841–1878

Siblings (6)

**August Albert Cook**
1862–1941

Family Time Line



Sources (3)

-  Adolph Koch, "United States Census, 1920"
-  Adolph Christian Koch, "Find A Grave Index"
-  A C Koch, "United States Census, 1930"

[VIEW ALL](#)



Alice Broche

12 December 1875–September 1982 • GS7L-6JP



Brief Life History of Alice

When Alice Broche was born on 12 December 1875, in District of Columbia, United States, her father, Gustave Broche, was 26 and her mother, Judith Villroy, was 15. She had at least 1 son and 1 daughter with Adolphe Christian Koch. She lived in Washington, District of Columbia, United States in 1880. She died in September 1982, in Santa Fe, Santa Fe, New Mexico, United States, at the age of 106, and was buried in Santa Fe, Santa Fe, New Mexico, United States.

[MORE](#)

Parents and Siblings



Gustave Broche
1849–1900



Judith Villroy
1860–1879

Siblings (2)



Alice Broche
1875–1982



Gustave Broche Jr

Photos and Memories (0)



Do you know Alice? Do you have a story about her that you would like to share? [Sign In](#) or [Create a FREE Account](#)

Spouse and Children



Adolphe Christian Koch
1873–1939



Alice Broche
1875–1982

Children (2)

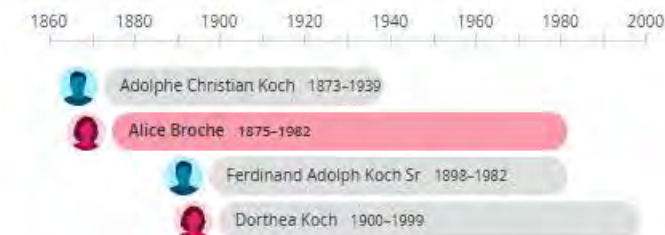


Ferdinand Adolph Koch Sr
1898–1982

Family Time Line

Spouse and Children

Parents and Siblings



Sources (4)



Alice Koch in household of Adolph Koch, "United States Census, 1920"



Alice Broche Koch, "Find A Grave Index"



Alice Koch in household of A C Koch, "United States Census, 1930"

[VIEW ALL](#)



Ferdinand Adolph Koch Sr

28 January 1898–11 October 1982 • GSVD-3L5



Brief Life History of Ferdinand Adolph

When Ferdinand Adolph Koch Sr was born on 28 January 1898, in Denver, Colorado, United States, his father, Adolphe Christian Koch, was 24 and his mother, Alice Broche, was 22. He had at least 5 sons with Annie Kathleen Long. He lived in Election Precinct 28 Santa Fe, Santa Fe, New Mexico, United States in 1940. He died on 11 October 1982, in Santa Fe, Santa Fe, New Mexico, United States, at the age of 84, and was buried in Santa Fe, Santa Fe, New Mexico, United States.

[MORE](#)

Photos and Memories (0)



Do you know Ferdinand Adolph? Do you have a story about him that you would like to share? [Sign In](#) or [Create a FREE Account](#)

Family Time Line

Spouse and Children

Parents and Siblings

1880 1900 1920 1940 1960 1980 2000 2020 2040 2060

 Ferdinand Adolph Koch Sr 1898–1982

 Annie Kathleen Long 1896–1982

 Ferdinand Adolph Koch Jr 1924–2001

 Robert Koch 1927–Deceased

 Charles Edward Koch 1928–2020

 William Christian Koch 1933–2024

 James H Koch 1936–Deceased

Spouse and Children



Ferdinand Adolph Koch Sr
1898–1982



Annie Kathleen Long
1896–1982

Children (5)



Ferdinand Adolph Koch Jr
1924–2001



Robert Koch

Sources (11)



Ferdinand A Koch, "United States, Census, 1950"



Ferdinand Adolph Koch, "New Mexico, World War II Draft Registration Cards, 1940-1945"



Ferdinand A Koch, "United States, Obituary"

Parents and Siblings



Adolphe Christian Koch
1873–1939



Alice Broche
1875–1982

Siblings (2)



Ferdinand Adolph Koch Sr

REGISTRATION CARD—(Men born on or after February 17, 1897 and on or before December 31, 1921)

SERIAL NUMBER 601 1. NAME (Print) FERDINAND ADOLPH KOCH. ORDER NUMBER 10248
 T 601 (First) (Middle) (Last) T 10248

2. PLACE OF RESIDENCE (Print) 326 CORONADO RD. SANTA FE, SANTA FE, N.M.
 (Number and street) (Town, township, village, or city) (County) (State)

[THE PLACE OF RESIDENCE GIVEN ON THE LINE ABOVE WILL DETERMINE LOCAL BOARD JURISDICTION; LINE 2 OF REGISTRATION CERTIFICATE WILL BE IDENTICAL]

3. MAILING ADDRESS P.O. Box 129 SANTA FE, N.MEX.
 [Mailing address if other than place indicated on line 2. If same insert word same]

4. TELEPHONE 743 5. AGE IN YEARS 44 6. PLACE OF BIRTH DENVER
 (Exchange) (Number) (Mo.) (Day) (Yr.) (Town or county) (State or country)
 1-28-1898 COLORADO

7. NAME AND ADDRESS OF PERSON WHO WILL ALWAYS KNOW YOUR ADDRESS MRS ALICE KOCH. 527 AGUA FRIA, SANTA FE.

8. EMPLOYER'S NAME AND ADDRESS SELF.

9. PLACE OF EMPLOYMENT OR BUSINESS SANTA FE ELECTRIC LAUNDRY, SANTA FE
 (Number and street, or R. F. D. number) (Town) (County) (State)

I AFFIRM THAT I HAVE VERIFIED ABOVE ANSWERS AND THAT THEY ARE TRUE.

D. S. S. Form 1 (Revised 1-1-42) (over) ☆ GPO 16-21630-2 Ferdinand Adolph Koch (Registrant's signature)

REGISTRAR'S REPORT

DESCRIPTION OF REGISTRANT

RACE	HEIGHT (Approx.)	WEIGHT (Approx.)	COMPLEXION
White	6-	200	Sallow
	EYES	HAIR	Light
Negro	Blue	Blonde	Ruddy
	Gray	Red	Dark
Oriental	Hazel	Brown	Freckled
	Brown	Black	Light brown
Indian	Black	Gray	Dark brown
		Bald	Black
Filipino		MIXED	

Other obvious physical characteristics that will aid in identification:

SCAR R. ARM P.I.

I certify that my answers are true; that the person registered has read or has had read to him his own answers; that I have witnessed his signature or mark and that all of his answers of which I have knowledge are true, except as follows:

J. E. Ovak (Signature of registrar)
 Registrar for Local Board 2. SANTA FE, N.M.
 (Number) (City or county) (State)
 Date of registration 2-16-1942

Local Board No. 2 83
 Santa Fe County 049
 FEB 16 1942 002
 Supreme Court Bldg.
 Santa Fe, New Mexico
 (The stamp of the Local Board having jurisdiction of the registrant shall be placed in the above space)

Osage Design Studio
Richard Woodbury
1216 Vitalia Street
Santa Fe, NM 87505
505.629.5948
osagedesignstudio@yahoo.com



November 7, 2025

Historic Preservation Division
Planning and Land Use Department
City Hall
200 Lincoln Avenue
Santa Fe, NM 87501

Address: 527 Agua Fria Street, Santa Fe NM 87501
Owners: NEIRIKA LLC
Building Status: Significant – To be determined
UPC: 1-053-099-521-161
Parcel No.: 11266176

On behalf of the applicant NEIRIKA LLC, I am submitting a **Request for Status Review** for 527 Agua Fria Street. The property is located within the Guadalupe Historic District. The site has two existing residential structures. The subject structure is a tri-plex to be converted into a duplex located at the front of the property facing Agua Fria Street. The rear structure is not part of the scope of this request; no work planned on the rear structure.

The project was originally submitted July 15, 2025 with an October 14, 2025 HDRB hearing scheduled. However, your division determined that the status of the subject building required a new review. I am requesting that the status review be placed on the December 9, 2025 HDRB hearing.

In addition, the most current Historic Cultural Properties Inventory (HCPI) dates from 1997. We were informed by your division that a new HCPI is required. A new HCPI is being prepared.

Per your email 11/6/25, you stated that if your division received this status request letter by 11/10/25 and the new HCPI by 11/30/25, the status review can be placed on the December 9, 2025 HDRB hearing agenda.

Please contact me if you have any questions or require additional information.

Sincerely,

Richard Woodbury

Richard Woodbury
Osage Design Studio

Attachments: 24x36 drawing set, existing site plan, floor plan & exterior elevations
Existing Building Photographs

HISTORIC CULTURAL PROPERTIES INVENTORY (HCPI) BASE FORM

1. IDENTIFICATION

HCPI # NMCRIS # Project Name: 527 Agua Fria Street Survey Date: November 25, 2025	Agency Number: Other #Old ID# 051613581; Santa Fe ID Number H1510 ☒ Update
NAME OF PROPERTY Historic Name: 243 Aqua Fria, 243/527 Agua Fria (Aqua Fria) Current Name: 527 Agua Fria Street	OWNER and contact information:
SURVEYOR and contact information: Tina Reames; CSR Architects; 220 Gold Avenue SW; Albuquerque, NM 87102	
PROPERTY TYPE Category: ☒ Building ☐ Structure ☐ Object ☐ District ☐ Site Subcategory: ☐ Acequia/Historic Irrigation Ditch ☐ Road/Trail ☐ Other Linear	
LAND STATUS ☐ Federal ☐ State ☐ Local ☒ Private ☐ Other (land grant, tribal, etc.) Specify Other:	

2. LOCATION

STREET ADDRESS: 527 Agua Fria Street CITY: Santa Fe, NM 87501 COUNTY: Santa Fe If no street address, describe how to locate the property:	UTM Coordinates: Hemisphere N Map-datum: NAD 83 Zone: 13 E: 414338.4 N: 3949579.4 USGS Quad Name USGS Quad Code: Assessor Parcel # 11266176 Local Reference #
SETTING Category: ☐ Urban ☐ Suburban ☐ Rural ☐ Village	
Subcategory: ☐ commercial ☐ industrial ☒ residential ☐ public	

3. PROPERTY DESCRIPTION

HISTORIC FUNCTION: Residence, Duplex (and for a time, a three-unit) residence CURRENT FUNCTION: Residence	CURRENT CONDITION: ☐ intact ☒ altered ☐ deteriorated ☐ other Describe:
CONSTRUCTION DATE: Before 1908 ☐ Known ☒ Estimated Source: 1908 sanborn Fire Insurance Map ☒ continuation	ARCHITECT/BUILDER: Unknown
BREIF DESCRIPTION OF PROPERTY: The property consists of a lot that is approximately 18,050 sf (.41 acres), located on the north side of Agua Fria Street, west of De Fouri Street. The house is located at the south end of the lot, along Agua Fria Street, and a small front yard, enclosed by a low adobe wall that has been stuccoed, is located between the front façade of the house and the sidewalk. North of the house is a small backyard surrounded by a wooden fence. A dirt and gravel drive runs along the east edge of the lot and to the north of the house. The house is a one-story, pitched roof, combination adobe and wood stud house that has been faced with a stucco finish. The back of the lot holds another single story smaller house (designated at 525 D Agua Fria Street).	

The front of the house entry is marked by a protruding front porch with arched screened front entry door. The front porch is not very visible from the street as the landscape is overgrown with evergreen trees. The rest of the south façade includes three sets of wood windows: central and nearest the front door is an 8/8/8 triple casement window, next to the west are two 8/8 double casement windows. All windows are trimmed with wood and painted a dark red/burgundy.

☐ continuation

ACEQUIA/HISTORIC IRRIGATION DITCH:
Name of Acequia/Ditch Association:

HCPI # Address of Property: 527 Agua Fria Street	NMCRIS #
---	-----------------

ARCHITECTURAL STYLE: Check no more than 3 styles. Refer to HCPI Manual for additional style options.		
☐ Not Applicable	☐ International Style/Miesian	☐ Pueblo/Pueblo Vernacular
☐ Art deco	☐ Italiante/Bracketed	☐ Queen Anne
☐ Bungalow/Craftsman	☐ Mediterranean/Spanish Colonial Revival	☐ Ranch/Rambler
☐ Classical Revival/Neo-Classical Revival	☐ Mission Revival/California Mission Revival	☐ Southwest Vernacular
☐ Colonial Revival	☐ Modernism	☐ Spanish-Pueblo Revival
☐ Folk Victorian	☒ New Mexico Vernacular	☐ Territorial
☐ Gothic Revival/Folk Gothic	☐ Prairie School/Prairie Style	☐ Territorial Revival
☐ Other, describe:		

4. NATIONAL REGISTER/STATE REGISTER LISTING

A. National or State Register Listing:		
Is the property individually listed in the State Register? ☐ Yes ☒ No		
If yes, SR#		
Is the property individually listed in the National Register? ☐ Yes ☒ No		
Is the property part of a Register District? ☒ Yes ☐ No ☐ Unknown		
If yes, is it ☒ Contributing ☐ Non-contributing		
If not mentioned, in your opinion is the property: ☐ Contributing ☐ Non-contributing		
District Name: Santa Fe Historic District		District SR #260; District NR
#73001150 in Santa Fe, the house is located within the "Westside-Guadalupe Historic District"		
Is the property associated with a Multiple Property Documentation Form? ☐ Yes ☐ No ☒ Unknown		
If yes: MPDF Name	MPDF SR#	MPDF theme

5. NATIONAL REGISTER/STATE REGISTER EVALUATION

A. Surveyor/Recorder Recommendations:		
Name: Tina Reames		Date: 11/25/2025
National Register evaluation: ☐ eligible ☒ not eligible ☐ not sure		
National Register eligibility criteria: ☐ a ☐ b ☐ c ☐ d ☒ criteria consideration: A) and B)		
Research into the history of the building reveals that the house does not hold any special significance for its association with events or individuals on a local, regional, national, or global level. C) The building is a conglomeration of styles representing different periods in NM history, and therefore does not embody a particular type, period, or method of construction. Because there were so many changes to this house over the course of close to 50 years, there is not a high level of historic integrity to any specific historic period or type. D) It is unlikely that information important in history or prehistory will be yielded from this building or site.		
Level of significance: ☒ local ☐ state ☐ national		
Area of significance:		subarea:
Is this property similar to other nearby properties? ☒ Yes ☐ No		
Could it be contributing to an undefined district? ☒ Yes ☐ No		
Discuss: The building is already considered to be contributing to the Santa Fe Historic District, listed on both the State and National Registers, and it is included in the Santa Fe Historic Preservation Divisions Westside-Guadalupe Historic District. If another district containing the site were defined, the building could be considered contributing.		
B. Agency Determination:		
Name:		Date:
National Register evaluation: ☐ eligible ☐ not eligible ☐ undetermined		
National Register eligibility criteria: ☐ a ☐ b ☐ c ☐ d ☐ criteria consideration:		
Level of significance: ☐ local ☐ state ☐ national		
Area of significance:		subarea:
Could it be contributing to an undefined district? ☐ Yes ☐ No		
Agency Remarks:		
C. SHPO Determination:		

Name:

Date:

National Register evaluation: ☐ eligible ☐ not eligible ☐ undetermined

National Register eligibility criteria: ☐ a ☐ b ☐ c ☐ d ☐ criteria consideration:

Level of significance: ☐ local ☐ state ☐ national

Area of significance:

subarea:

Could it be contributing to an undefined district? ☐ Yes ☐ No

SHPO Remarks:

HISTORIC CULTURAL PROPERTIES INVENTORY (HCPI) DETAIL FORM

HCPI # Address of Property: 527 Agua Fria Street	NMCRIS #
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6. ARCHITECTURAL AND CONSTRUCTION DETAILS:

A. Visible Construction Materials

☒ Adobe ☐ Brick ☐ Composition Board ☒ Concrete: Block ☐ Concrete: Cast Stone ☐ Concrete: Poured ☐ Concrete: Pre-cast ☐ Curtain Wall ☐ Earth Plaster	☐ Metal: Corrugated ☐ Masonry: Simulated ☐ Metal: Structural Siding ☐ Metal: V-Crimp ☐ Stone: Random Ashlar ☐ Stone: Random Coursed ☐ Stone: River Rock ☐ Stone: Rock Faced ☐ Stone: Tabular	☒ Stucco ☐ Tile: Clay ☐ Vinyl or Aluminum Siding ☐ Wood: Board & Batten ☐ Wood: Horizontal Siding ☐ Wood: Jacal ☐ Wood: Log ☐ Wood: Shingle ☐ Wood: Tongue and Groove
☒ Other, describe: Wood stud, lath and plaster. Metal roofing.		

B. Number of Stories

☐ N/A ☒ 1 ☐ 1 ½ ☐ 2 ☐ 2 ½ ☐ Other, describe:

C. Foundation

☐ N/A ☒ Not visible ☐ None ☐ At Grade ☐ Raised
Materials: ☐ Concrete: Poured ☐ CMU ☐ Stone ☐ Other, describe:
Notes:

D. Roof

☐ N/A Features: ☒ Eave ☐ Parapet
Shape: ☐ Barrel ☐ Butterfly ☐ Flat ☒ Cross Gable ☐ Gable ☐ Hipped ☐ Pyramidal ☐ Shed ☐ Other, describe:
Pitch: ☐ None ☒ Low ☒ Medium ☐ Steep
Materials: ☐ Asphalt ☐ Metal: Corrugated ☒ Tile: Metal ☐ Composition Roll ☐ Metal: Pressed ☐ Tile: Terra Cotta ☐ Composition Shingle ☒ Metal: Standing Seam ☐ Wood: Shingle ☐ Earth ☐ Metal: V-Crimp ☒ Other, describe: The original roof was a flat roof with drainage to the north. At some point, a gabled roof was added raising the elevations of the residence. It is not evident if this was a clay tile roof, but it now has a metal roof simulating a tile roof. The cross gable roof is offset. The lower metal roofs covering the front porches and side and back additions has a combination of metal tile and standing seam. The roof over the garage and connector is a low slope standing seam metal roof.

E. Chimneys

☐ N/A Number Interior: Number Exterior: 1
Construction Material: ☐ Brick ☐ Adobe ☐ Stone ☒ Stucco ☐ Terra Cotta Tile ☒ Metal Flue ☐ Other, describe:

F. Porches

☐ N/A
Type: ☒ Entry ☐ Incised ☒ Partial Width ☐ Full-Width ☐ Wrap ☐ With a Gazebo
Other Details, describe: At the front entry, an extended covered area shields the front door to Suites 1 and 2. A later addition added a back enclosed porch with a low roof and large skylight.

HCPI # Address of Property: 527 Agua Fria Street	NMCRIS #
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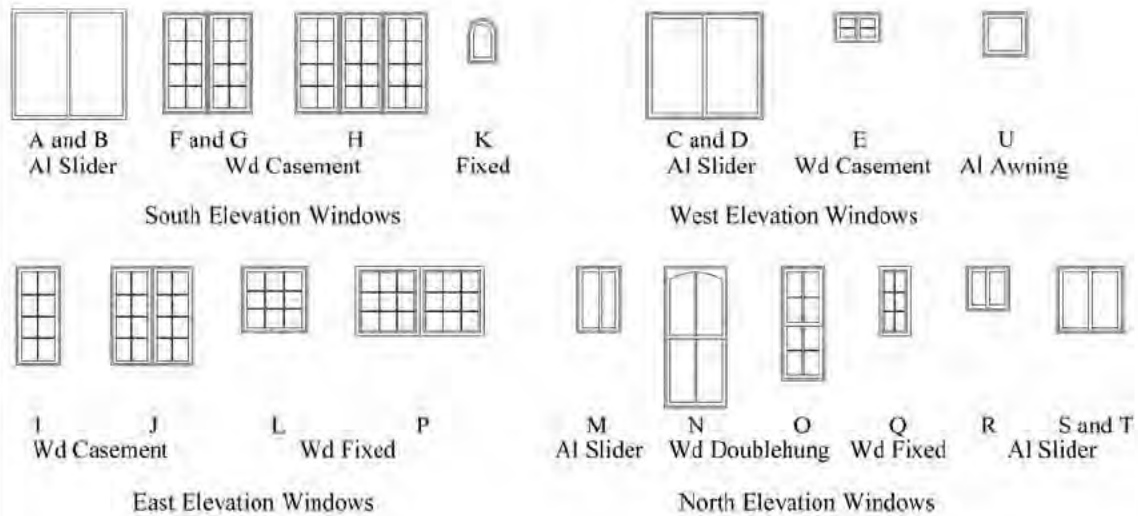
G. Doorways

☐ N/A	Number of Doorways: 7
Type: ☒ One-leaf ☐ Two-leaf	
Style: ☐ Diagonal Plank ☐ Dutch ☐ French ☐ Plain ☒ Panel ☐ Vertical Plank ☒ Other, describe: See sketches below	
Components: Panels/Lights-Number and configuration ☐ Sidelights - number and configuration ☐ Transom	
Material: ☐ Aluminum ☐ Fiberglass ☐ Metal ☐ Steel ☐ Vinyl ☒ Wood ☐ Other, describe	
Depth of Reveal: varies	
Notes: South Elevation Doors #1, #2, and #3 North Elevation Doors #4, #5, #6, and #7	

H. Window Openings

☐ N/A	Number of Window Openings: 21			
Operation:	Material:	Glazing:		
☐ Awning ☒ Casement ☒ Double or Single Hung ☒ Fixed ☐ Hopper ☐ Louver ☐ Pivot ☒ Sliding t	☒ Anodized Aluminum ☐ Bare Aluminum ☐ Steel ☐ Vinyl ☒ Wood ☐ Other, describe:	☐ 1/1 ☐ 2/2 ☐ 3/1 ☐ 4/4 ☐ 6/6 ☐ 9/9 ☒ Other configuration, describe: The configuration of the windows varies. See elevations below.	☐ 2 Pane Horizontal ☐ 2 Pane Vertical ☐ 3 Pane Vertical ☐ 4 Pane Vertical ☒ Combination, describe: ☐ Grouped, describe:	☐ Curtain Wall ☐ Glass Block ☐ Palladian Motif ☐ Picture Window ☐ Store Front or display ☐ Other, describe:
Depth of Reveal: varies among the different window types				

Notes:



I. Other Significant Features

Describe: On the north side of the house there is a thickened wall with decorative tile where a fountain may have been.

7. Associated Properties

Discuss: N/A

Are associated properties eligible for listing? No

8. Documents Available and Their Locations

Discuss: Sanborn Fire Insurance Maps attached (April 1908, June 1913, June 1921, January 1930); King's Official Map of the City of Santa Fe (1912); 1997 NM Historic Building Inventory forms; 2024 Santa Fe County Tax Parcel Viewer

9. Attachments

Please indicate which items are attached:

- ☒ Site Plan (required)
- ☒ Photos (required)
- ☒ Map or aerial photo (required)
- ☒ Continuation sheet (Word document), if necessary
- ☐ Additional detail forms for associated properties, if applicable

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

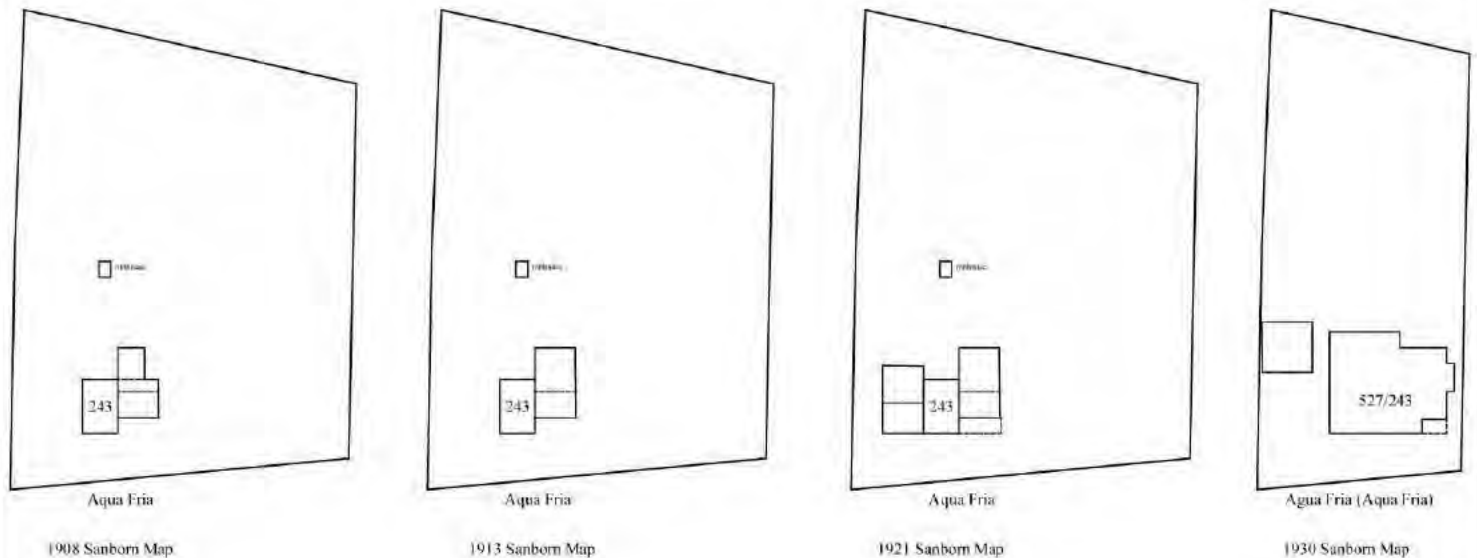
Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		
1. Name of property: (historic and/or current name for property) 527 Agua Fria Street Previously 243 Agua Fria Street; 243/527 Agua Fria (Aqua Fria) Street	2. Location: 527 Agua Fria Street Santa Fe, NM 87501	3. Local Reference Number: 4. County Santa Fe 5. Date of Survey November 25, 2025

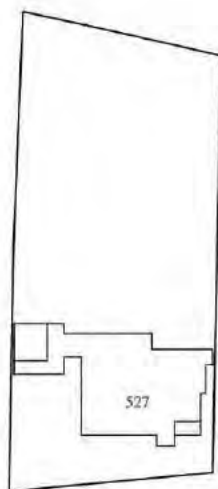
Construction Date, Timeline of House, and Inferred Evolution of House Graphic:

There have been several additions and renovations to this building over time. Based on historic maps and the previous Historic Building Inventory forms (1997), it is estimated that there have been at least four additions to the original house.

- The original house was built sometime before 1908.
- It is estimated that the outhouse at the rear of the lot was constructed during the same timeframe (before 1908).
- An addition was constructed at the rear of the house (northeast side) sometime after 1908 and before 1913.
- A much larger addition was constructed at the west side of the house sometime after 1913 and before 1921. (Note: the new southwest corner of the house is constructed of adobe.) A covered front porch was added at the southeast corner of the house.
- Another large addition was added to the back of the house, possibly an enclosed back porch with lower roof. A separate garage was added to the west and access to a cellar on the east side of the house sometime after 1921 and before 1930. (Note: the location of the house appears to be further east.)

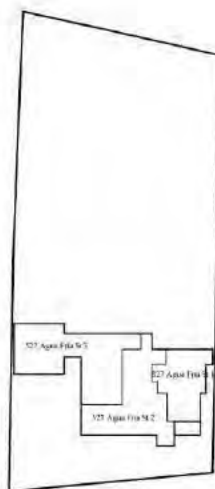


- It is estimated that the double gable roof was added after 1930 and a small restroom addition was added at the top of the cellar stair on the northeast corner of the house.
- The 2024 Santa Fe County Tax Parcel Viewer shows the property divided into three units.



Agua Fria

1998 SF County Assessor Sketch



Agua Fria

2024 SF County Tax Parcel View

- The image below is an enlarged image of the 1912 King's Official Map of the City of Santa Fe, NM indicating property ownership - Mrs. C. W. Dudrow



Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:

HCPI No.

District No.

1. Name of property: (historic and/or current name for property)

527 Agua Fria Street
Previously 243 Aqua Fria Street; 243/527 Agua Fria (Aqua Fria) Street

2. Location:

527 Agua Fria Street
Santa Fe, NM 87501

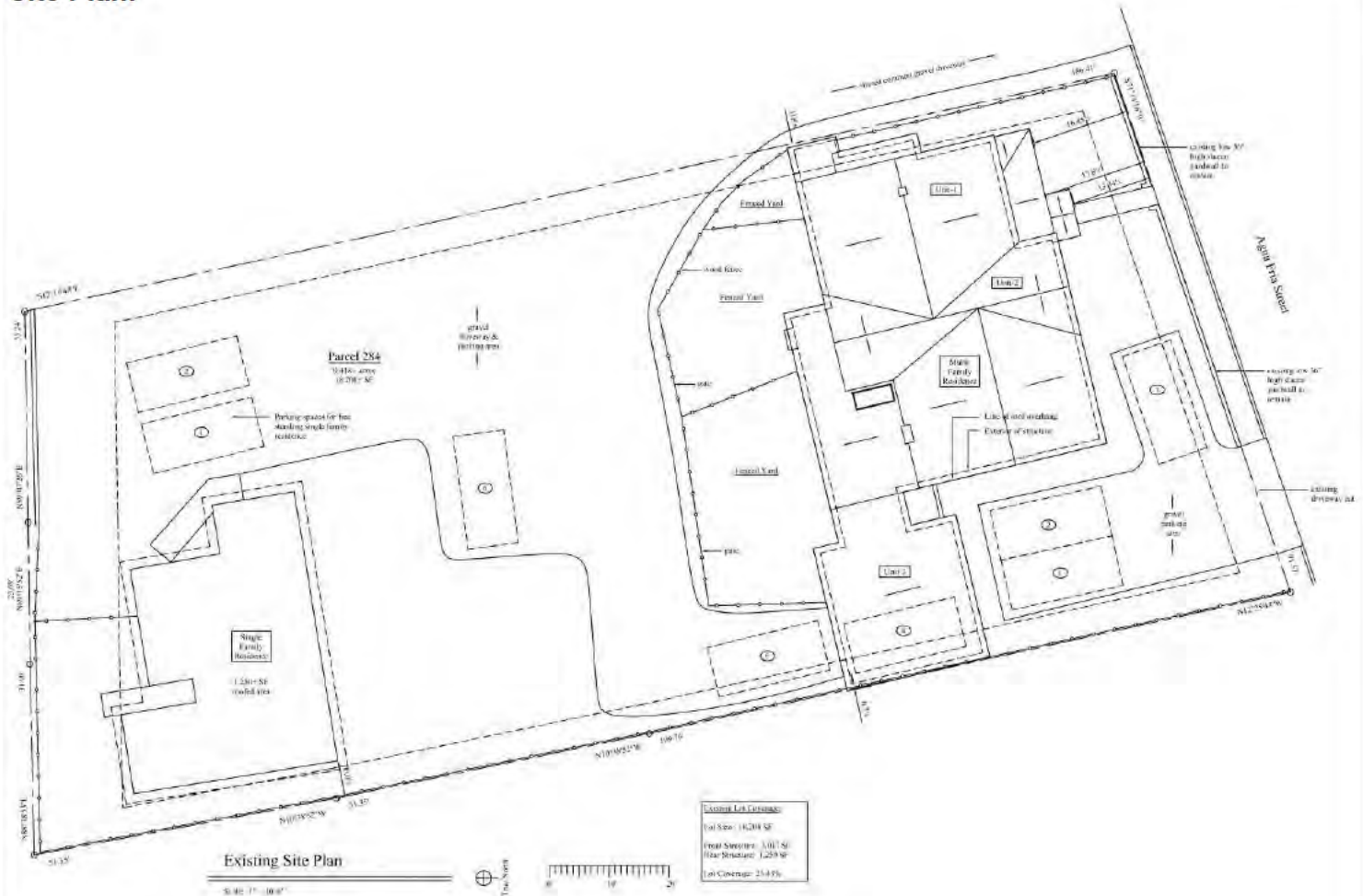
3. Local Reference Number:

4. County
Santa Fe

5. Date of Survey

November 25, 2025

Site Plan:



527 Agua Fria Site Plan, Drawn by Osage Design Studio, 9/1/25

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		
1. Name of property: (historic and/or current name for property) 527 Agua Fria Street Previously 243 Aqua Fria Street; 243/527 Agua Fria (Aqua Fria) Street	2. Location: 527 Agua Fria Street Santa Fe, NM 87501	3. Local Reference Number:
		4. County Santa Fe
		5. Date of Survey November 25, 2025

Photographs of Building and Site:

See 7 pages of exterior building photographs by Osage Design Studio; 45 pages of window assessment by RPA & Associates, LLC that follow.



North Elevation - northeast corner of house - thickened wall at exterior with decorative tile and broken spigot (remnants of a fountain)



527 Agua Fria Street
Existing Exterior Photographs
6/30/25



1 - South Façade (facing Agua Fria)



2 - South Façade showing west face of structure



3 - South Façade (facing Agua Fria)



4 - South Façade (facing Agua Fria)



5 - East Façade (southeast corner)



6 - East Façade



7 - North Façade (northeast corner)



8 – North Façade



9 - North Façade



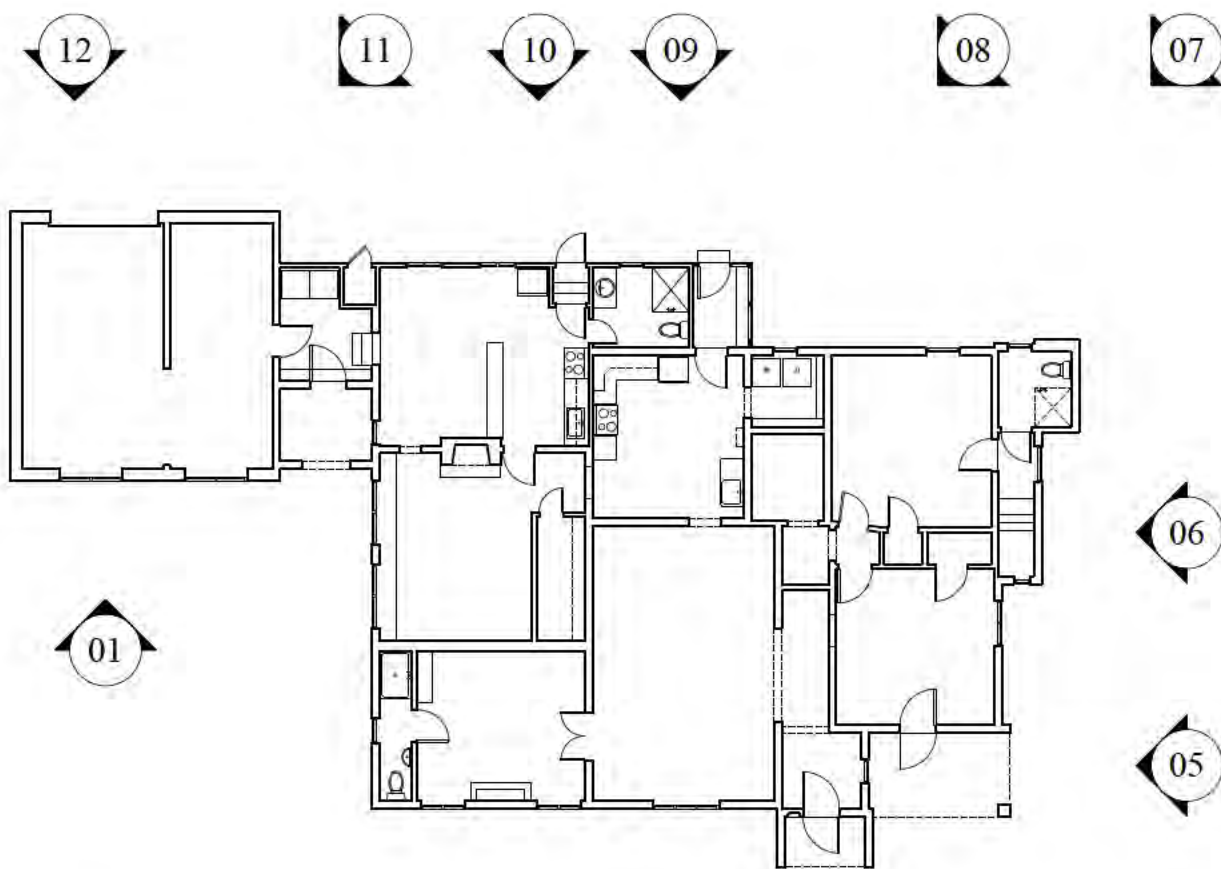
10 - North Façade



11 - North Façade



12 - North Façade (northwest corner)



Agua Fria Street

Photo Key Plan



Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Aerial Photograph:



Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

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527 Agua Fria House Historic Research Synopses, Timeline of House, and Bibliography

See 12 pages of research synopses, etc. that follow.

527 Agua Fria House Research Synopses

Per King's and Sanborn Fire Insurance Maps:

243 Aqua Fria was built sometime before 1908. Based on the historic maps, the original portion of the existing building is the middle portion of the front rectangular façade that faces the street today. (Refer to building footprint graphic for more information.) The original building underwent a renovation and addition to the east and rear of the house sometime after 1912 and before 1913. An addition was added to the west sometime after 1913 and before 1921. A front porch was also added. Between 1921 and 1930, the footprint of the building moves to allow more space between the lot line and the main house. (There appears to have been an error in the original location of the dwelling.) On the 1930 Sanborn Map, the footprint of the building was changed from three simple rectangles to a blocky almost square footprint with the addition of a garage and the outhouse was removed. The address label for the building was changed from 243 Aqua Fria to 527 Agua Fria and the lot line had changed, reducing the lot size from east to west. The footprint of the building remained the same on the 1948 revision to the 1930 Sanborn Map. The current footprint of the building, which adds a restroom to the northeast corner and a connector from the main house to the garage, shows that one or more additions were constructed onto the building after 1985 but before 1998. Based on the research materials available, it is not entirely clear when the other additions were constructed, but it is inferred that all additions to the building and the garage were completed prior to 1998. Refer to the 1985 and 1997 Historic Building Inventory Forms section below.

Per the 1985 and 1997 Historic Building Inventory Forms:

The building was described in previous Historic Building Inventory forms – in 1985 and then resurveyed in 1997. There are some inconsistencies between the 1985 form and the 1997 and the Sanborn maps indicating the development of the house.

On the 1985 form, 527 Agua Fria (ID No. 051613581) is drawn with the main house separate from the garage that matches the 1930 and 1948 Sanborn Maps but with a protruding front porch addition. In addition, the surveyor of the 1997 form included a comment about the garage: "connected to the house by arched stucco gateway."¹ This gateway was not shown on either survey site plans. Based on the former survey, it is assumed that the addition joining the garage to the main house was constructed after 1985 but before 1998.

Both 1985 and 1997 forms note the "Mediterranean" style, but do not note that the original building was flat roofed. The 1985 form notes that the significance of the building is "of interest," and that the building should be eligible because it is "contributing."² It is to be noted that this 1985 survey form was the survey used to determine whether or not the building should be considered "contributing" in the Santa Fe Historic District (refer to the Santa Fe Historic District Section that follows).

On the 1997 form, the building is noted as being listed on the National Register of Historic Places, as being a contributing property, and as being listed on the State Register of Cultural Properties. While it is

¹ DB, "New Mexico Historic Building Inventory - Santa Fe Resurvey 1997, 527 Agua Fria," August, 1997.

² HMW, "527 Agua Fria Building Survey Form," June, 1985.



true that the building is contributing to the Santa Fe Historic District (See Santa Fe Historic District section that follows), the building is not listed individually on either the State Register of Cultural Properties or on the National Register of Historic Places. (Refer to SR-NR-Excel-Database-through-June-2016.xlsx file provided by the NM HPD for a list of individual properties and districts included on the State and National Registers).

On the 1985 form, the building is also noted as having had moderate remodeling and the 1997 form lists the degree of remodeling as minor.

Santa Fe Historic District

Per the 1973 National Register of Historic Places Inventory – Nomination Form:

The Santa Fe Historic District was added to the State Register on September 29, 1972 (State Register #260) and to the National Register on July 23, 1973 (National Register # 73001150). 527 Agua Fria is included as a contributing property in the Santa Fe Historic District, based on the 1997 survey of the property (mentioned above).

Ownership of the House:

On the 1912 King's Map, the building is marked as Block 60, Lot 34, and is attributed to Mrs. C. W. Dudrow.

From the 1985 Historic Building Inventory Form, included a comment: "A. C. Koch bought this in 1912 from C.W. Dudrow Estate. He added tile Rf in 1920-25. House has grown @ rear – N.V." ³

Between 1913 and 1927, no information regarding the ownership of the house was found.

From 1928 through 1964, A.C. Koch or a Koch family member is listed as the owner of the property (per Santa Fe City Directories). There is also a Mrs. Dorothea K Dunakin (nurse) associated with the property either as a tenant or owner from 1944 through 1951.

- Between 1928 and 1938, the owner is listed as Koch, A. C.
- Between 1940 and 1944, the owner is listed as Koch, A. C. Mrs.
- Between 1944 and 1947, the owner is listed as Koch, A. C. Mrs. and Dunakin D. K. Mrs. nurse
- Between 1947 and 1949, the owner is listed as Koch, Alice Mrs. and Dunakin D. K. Mrs. nurse
- Between 1949 and 1951, the owner is listed as Koch, Alice Mrs. and Dunakin Dorothea K. Mrs. nurse
- Between 1951 and 1964, the owner is listed as Koch, Alice A. and Dunakin Dorothea K. Mrs. nurse
- In 1964, the owner is listed as Koch, Alice C. Mrs.

It is unknown when the Koch family sold the house.

On December 19, 2024, the house was sold.⁴

³ HMW, "527 Agua Fria Building Survey Form," June, 1985.

⁴ https://www.zillow.com/homedetails/527-Agua-Fria-St-Santa-Fe-NM-87501/6826806_zpid/



According to the Santa Fe County Tax Parcel Viewer, Neirika LLC is the owner of the house.

Review of Architectural Features and Styles of the House and Site:

The existing house is a compilation of pieces that were added on and renovated over the course of approximately ninety years. The various additions and renovations add different styles to the house.

Original Portion of the House: The original portion (pre-1908) may have followed many of the stylistic patterns of a New Mexico vernacular house. Whether Spanish Colonial or Territorial Style which was primarily in use in New Mexico during the mid to late nineteenth century, and featured flat roofs, adobe construction, new milled lumber elements and fired brick detailing, along with the inclusion of provincial Greek Revival Style elements, the original portion of the house is constructed of wood stud framed walls, which have been faced with stucco. A small outhouse was added in the rear. It is unknown when the north thickened wall and fountain were added to the house. This appears to be more Mediterranean in style. It is also unknown when the low adobe wall that wraps the front yard was added to the house.

Minor Addition #1: Between 1908 and 1913, a small addition was added to the northeast corner of the house.

Major Renovation/Addition #2: A significant renovation and addition was done at the house prior to 1921. It is assumed that part of the work of this project was completed in adobe construction, as the front southwest corner remains an 8" thick adobe constructed wall. Another part of the renovation of the house is thought to have included a front porch at the main entry. The windows and doors are typically wood units painted red. It appears that many of these units are the original ones installed when the main house and addition were built. The majority of the windows and doors have divided lites, square red wood trim, and the windows have square sills. All windows appear to be operable, inward swinging casement windows with a few double hung on the north side of the building.

Major Addition #3: It is possible that the third addition actually included more than one addition and interior remodeling over the course of approximately ten years including the addition of the pitched Mediterranean style tile roof. From what we can deduce, the third addition (post-1921) included the portion added onto the north and east side stair to a cellar, as well as the separate garage building. The rear porch addition may have been open to air or screened. The roof was a low slope. It is unknown whether the garage and porch had windows as it is apparent that the aluminum slider windows were added later.

The Garage: The garage is constructed of rusticated or split face narrow and long concrete masonry units. The roof is a flat roof and has a very low slope. It is unknown what the original material was but now is covered with a standing seam metal roof.

Major Renovation/Addition #4: It is possible that the fourth addition and renovation included the subdivision of the house into three separate dwelling units. The garage was connected to the main house and the back porch was enclosed. A small restroom was added to the northeast corner to serve



another tenant. Exterior entry doors were added for three separate entries. Metal roofs replaced the tile roofs, but simulated the look with red metal. The smaller additions have standing seam red metal roofs, while the main house and upper roofs have simulated metal tile red roofing.

Fences and Walls: There is little to no information regarding the existing fences and walls around the site. A low adobe wall (+/- 3' to 4' high) wraps the front yard. The low wall is not connected to the house on either edge, and has a break in the middle through which the front doors can be accessed. It is likely that the low adobe wall was added during either the first or the second addition to the house. On the east side of the building, the lot line is defined by a low wooden picket fence supported by square wood posts (approximately 4" x 4"). This fence was added sometime after the lot line was changed to its current position in 1930. It is adorned with a growing vine. A low adobe wall turning into a wooden coyote fence runs along much of the west edge of the site, but appears to be associated with the neighboring building. At the north side, individual back yards for the tenants are defined by a 6'-0" tall wooden picket fence. This fence was likely added much later on to provide privacy and security from vehicles parking in the rear of the lot.

Santa Fe Historic Preservation Division Definitions of Noncontributing, Contributing, and Significant Structures in a Historic District:⁵

- **NONCONTRIBUTING STRUCTURE:** A structure, located in an Historic District, which is less than fifty years old and/or does not exhibit sufficient historic integrity to establish and maintain the character of the Historic District. (Ord. No. 2004-26 §6)
- **CONTRIBUTING STRUCTURE:** A structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of the Historic District. Although the structure is not unique in itself, it adds to the historic associations and/or historic architectural design qualities for which a District is significant. The structure may have had minor alterations, however, its integrity remains. (Ord. 2004-26 § 5)
- **SIGNIFICANT STRUCTURE:** A structure, located in an Historic District, that is approximately 50 years old or older, and (1) embodies distinctive characteristics of a type, period or method of construction. A structure may also be designated as significant (2) for its association with events or individuals that are important on a local, regional, national, or global level. In order for a structure to be designated as significant, (3) it must retain a high level of historic integrity. A structure may also be significant (4) if it is listed in or is eligible to be listed in the State Register of Cultural Properties or the National Register of Historic Places. (Ord. No. 2004-26 §5)⁶

⁵ Santa Fe Historic Preservation Division, "Historic Preservation Definitions," City of Santa Fe Website, accessed May 5, 2017, http://www.santafenm.gov/historic_preservation_definitions.

⁶ (x) Numbers in gray added for clarity of response. See "Architectural Historian Opinion" section that follows.

National Register Criteria for Evaluation (For Determination of Building's Eligibility):⁷

Per Santa Fe Historic Preservation Division definition of "Significant Structure" above, listing on either the State or National Registers is one criteria by which a structure can be considered significant within a historic district for the Santa Fe Historic Preservation Division. For that reason, we include the US Department of the Interior's Criteria for Evaluation of a historic property, along with the Criteria Considerations.

- **Criteria for Evaluation:** The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:
 - A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
 - B. That are associated with the lives of significant persons in our past; or
 - C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
 - D. That have yielded or may be likely to yield, information important in history or prehistory.

- **Criteria Considerations:** Ordinarily cemeteries, birthplaces, graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past 50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:
 - a. A religious property deriving primary significance from architectural or artistic distinction or historical importance; or
 - b. A building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or
 - c. A birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building associated with his or her productive life; or
 - d. A cemetery that derives its primary importance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or
 - e. A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or
 - f. A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or

⁷ Rebecca H. Shrimpton, ed., "How to Apply the National Register Criteria for Evaluation" (U.S. Department of the Interior, National Park Service, Cultural Resources, 1995), <https://www.nps.gov/nr/publications/bulletins/nrb15/Index.htm>.



- g. A property achieving significance within the past 50 years if it is of exceptional importance.

Historic Architect's Opinion:

In response to criteria for a "Significant Structure," – see numbers in gray added to definition above:

- (1) The building is a conglomeration of styles representing different periods in NM history, and therefore does not embody a particular type, period, or method of construction.
- (2) Based on the research into the history of the building, including past owners, and residents of the house, the house was owned by Charles W. Dudrow, a 19th century entrepreneur in Santa Fe, who was engaged in the lumber, coal, ice, transfer and livery business. His legacy is connected to several historic locations, including the Dudrow House at 548 Agua Fria Street and an old warehouse that was later part of the Sanbusco Market, now part of the New Mexico School for the Arts complex. The house at 527 Agua Fria was part of the Dudrow Estate, but its significance is unknown for the Westside-Guadalupe Historic District "for its association with events or individuals that are important on a local, regional, national, or global level." The house was owned primarily by C. W. Dudrow for a short period of time before sold to A. C Koch in 1912.
- (3) Because there were so many changes to this house over time, there is not a high level of historic integrity to any specific historic period or type.
- (4) The building is not individually listed on either the State Register of Cultural Properties or on the National Register of Historic Places. While it is included as a contributing property in the Santa Fe Historic District, it is our opinion, for similar reasons to those listed in items (1) through (3) above, that the building would not be eligible for inclusion on either the State or National Registries.

Based on our findings, and on the Santa Fe Historic Preservation Division definitions included above, we recommend that the building continue to be designated as "Contributing."



Timeline for 512 Agua Fria House:

- 1846-1880 Territorial Style** first appears in NM; features include traditional flat-roofed buildings, adobe construction, new milled lumber elements and fired bricks, and provincial Greek Revival style elements.
- 1869-1872 Charles W. Dudrow**, came to Santa Fe. He had been a driver for the Barlow and Sanderson stage lines that ran from Pueblo, Colorado, to Santa Fe.⁸
- 1881 Dudrow & Bear Ice, Transfer and Livery.** When Charles W. Dudrow arrived in Santa Fe he married Cora Bear and became a business partner with her father, Samuel Bear. The business was located near the train depot and Our Lady of Guadalupe Church.⁹
- 1908** The house appears on the April, 1908 Sanborn Map as three small rectangles with a smaller rectangle to the north. The house has the following markings: 1'2, D, and a small x in the right hand corners of each rectangle. The address is 243 Aqua Fria.¹⁰
- 1910 Charles W. Dudrow – Kerr's Plaza Barber Shop** advertisement in the Santa Fe New Mexican, page 2, Tuesday, October 11, 1910.¹¹
- 1911 C. W. Dudrow** appears on the Fairview Cemetery Santa Fe history under Pioneer Merchants and Other Notable Businesspeople. (Approximate birth year is 1849).¹²
- 1912** The house appears on the 1912 Kings Map as the same three small rectangles (only shown as a polygon) with a smaller rectangle to the north. The property is listed as Block 60, Lot 34. A name is written on the lot. (Mrs. C. W. Dudrow)¹³
- 1913** The house appears on the June, 1913 Sanborn Map as the same three small rectangles only the top northeast corner of the third rectangle has an addition. The smaller rectangle is still located to the north. The house has the following markings: 1, D, Stucco, and a small black dot in the lower right of the two larger rectangles. The address is 243 Aqua Fria.¹⁴
- 1921** The house appears on the June, 1921 Sanborn Map as the same three small rectangles now with another larger rectangle added to the west. The smallest rectangle is still located to the north. The house has the following markings: 1, D, Stucco, and a small black dot in the lower right of the three large rectangles. A smaller dashed rectangle runs horizontally at the front of the house facing the street. The address is 243 Aqua Fria.¹⁵

⁸ "Dudrow & Company" by Ana Pacheco, <https://historyinsantafe.com/santa-fe-railyard-history/>

⁹ "Dudrow & Company" by Ana Pacheco, <https://historyinsantafe.com/santa-fe-railyard-history/>

¹⁰ "Sanborn Fire Insurance Map, April 1908" (Santa Fe County, NM: Sanborn Map Company, 1908).

¹¹ "Santa Fe New Mexican", advertisement, <https://files.core.ac.uk/download/pdf/217579931.pdf>

¹² Fairview Cemetery Santa Fe website, <https://www.fairviewcemeterysantafe.org/history/>

¹³ "King's Official Map of the City of Santa Fe, New Mexico" (Santa Fe, NM, 1912).

¹⁴ "Sanborn Fire Insurance Map, June 1913" (Santa Fe County, NM: Sanborn Map Company, 1913).

¹⁵ "Sanborn Fire Insurance Map, June 1921" (Santa Fe County, NM: Sanborn Map Company, 1921).



1928-1929 Koch A C is listed as owning the house (address marked as 527 Agua Fria). (o) following the name shows the occupant is owner of the home. This is given as an indication of permanency, but have not been checked by the official records.¹⁶

1930 The house appears on the January, 1930 Sanborn Map.¹⁷

- o The house is now a large polygon appearing to have had a smaller rectangular addition to the east and larger area filled in to the northwest. The front dashed area has decreased at the southeast corner and an additional dashed protruding rectangle has been added. A large rectangle has been added to the west separate from the main polygon.
- o The address is listed as 243, and also 527 Agua Fria (Aqua Fria).
- o The markings say 1, D, small black circle in each of the small rectangular spaces. The separate rectangle has a 1, A (C.B) and three small black dots. There are black X's on the south, east, and north walls.
- o The smallest rectangle to the north is now removed.
- o A new lot line to the east has been drawn. There is a small adobe building and larger "r" shaped dwelling in the adjacent lot to the east.

1930-1931 Koch A C is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following the name indicates the householder is the owner of the residence.¹⁸

1932-1933 Koch A C is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following the name indicates the householder is the owner of the residence.¹⁹

1934-1935 Koch A C is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following the name indicates the householder is the owner of the residence.²⁰

1936-1937 Koch A C is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.²¹

¹⁶ *Hudspeth Directory Company's Santa Fe City Directory, 1928-1929* (El Paso, TX: Hudspeth Directory Company, Inc., 1928).

¹⁷ "Sanborn Fire Insurance Map, January 1930" (Santa Fe County, NM: Sanborn Map Company, 1930).

¹⁸ *Hudspeth Directory Company's Santa Fe City Directory, 1930-1931* (El Paso, TX: Hudspeth Directory Company, Inc., 1930).

¹⁹ *Hudspeth Directory Company's Santa Fe City Directory, 1932-1933* (El Paso, TX: Hudspeth Directory Company, Inc., 1932).

²⁰ *Hudspeth Directory Company's Santa Fe City Directory, 1934-1935* (El Paso, TX: Hudspeth Directory Company, Inc., 1934).

²¹ *Hudspeth Directory Company's Santa Fe City Directory, 1936-1937* (El Paso, TX: Hudspeth Directory Company, Inc., 1936).

1938 **Koch A C** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.²²

1940 **Koch A C Mrs** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.²³

1942 **Koch A C Mrs** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.²⁴

1944 **Koch A C Mrs** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.

An additional name is also listed - **Dunakin D K Mrs nurse**. It is unknown if this person is a tenant or someone living in the main residence.²⁵

1947 **Koch Alice Mrs** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.

An additional name is also listed - **Dunakin D K Mrs nurse**. It is unknown if this person is a tenant or someone living in the main residence.²⁶

²² *Hudspeth Directory Company's Santa Fe City Directory, 1938* (El Paso, TX: Hudspeth Directory Company, Inc., 1938).

²³ *Hudspeth Directory Company's Santa Fe City Directory, 1940* (El Paso, TX: Hudspeth Directory Company, Inc., 1940).

²⁴ *Hudspeth Directory Company's Santa Fe City Directory, 1942* (El Paso, TX: Hudspeth Directory Company, Inc., 1942).

²⁵ *Hudspeth Directory Company's Santa Fe City Directory, 1944* (El Paso, TX: Hudspeth Directory Company, Inc., 1944).



1949 **Koch Alice Mrs** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.

An additional name is also listed - **Dunakin Dorothea K Mrs nurse**. It is unknown if this person is a tenant or someone living in the main residence.²⁷

1951 **Koch Alice A** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.

An additional name is also listed - **Dunakin Dorothea K Mrs nurse**. It is unknown if this person is a tenant or someone living in the main residence.²⁸

1964 **Koch Alice C Mrs** is listed as owning the house (address marked as 527 Agua Fria). An (o within an O) following a householder's name indicates that we have received information during the canvass that the house is owned by some member of the family, but as the publisher cannot and does not guarantee the correctness of the information furnished, nor the complete absence of mistakes no responsibility for errors can be or is assumed, nor can the publisher furnish further information than that shown.²⁹

1972-1973 **Santa Fe Historic District**, which includes 527 Agua Fria as a contributing property, was added to the State Register of Cultural Properties and National Register of Historic Places.³⁰

1985 NM Historic Preservation Division survey for 527 Agua Fria.³¹

1997 NM Historic Building Inventory – Santa Fe Resurvey form for 527 Agua Fria completed.³²

2024 House listed and sold.

²⁶ *Hudspeth Directory Company's Santa Fe City Directory, 1947* (El Paso, TX: Hudspeth Directory Company, Inc., 1947).

²⁷ *Hudspeth Directory Company's Santa Fe City Directory, 1949* (El Paso, TX: Hudspeth Directory Company, Inc., 1949).

²⁸ *Hudspeth Directory Company's Santa Fe City Directory, 1951* (El Paso, TX: Hudspeth Directory Company, Inc., 1951).

²⁹ *Hudspeth Directory Company's Santa Fe City Directory, 1964* (El Paso, TX: Hudspeth Directory Company, Inc., 1964).

³⁰ James H. Purdy, "National Register of Historic Places Inventory - Nomination Form, Santa Fe Historic District" (NM Historic Preservation Division, July 23, 1973).

³¹ HMW, "527 Agua Fria Building Survey Form," June, 1985.

³² DB, "New Mexico Historic Building Inventory - Santa Fe Resurvey 1997, 527 Agua Fria," August, 1997.



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"Sanborn Fire Insurance Map, January 1930." Santa Fe County, NM: Sanborn Map Company, 1930.

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"Sanborn Fire Insurance Map, June 1913." Santa Fe County, NM: Sanborn Map Company, 1913.

"Sanborn Fire Insurance Map, June 1921." Santa Fe County, NM: Sanborn Map Company, 1921.

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Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		
HCPI No.	District No.	
1. Name of property: (historic and/or current name for property) 527 Agua Fria Street Previously 243 Aqua Fria Street; 243/527 Agua Fria (Aqua Fria) Street	2. Location: 527 Agua Fria Street Santa Fe, NM 87501	3. Local Reference Number:
		4. County Santa Fe
		5. Date of Survey November 25, 2025

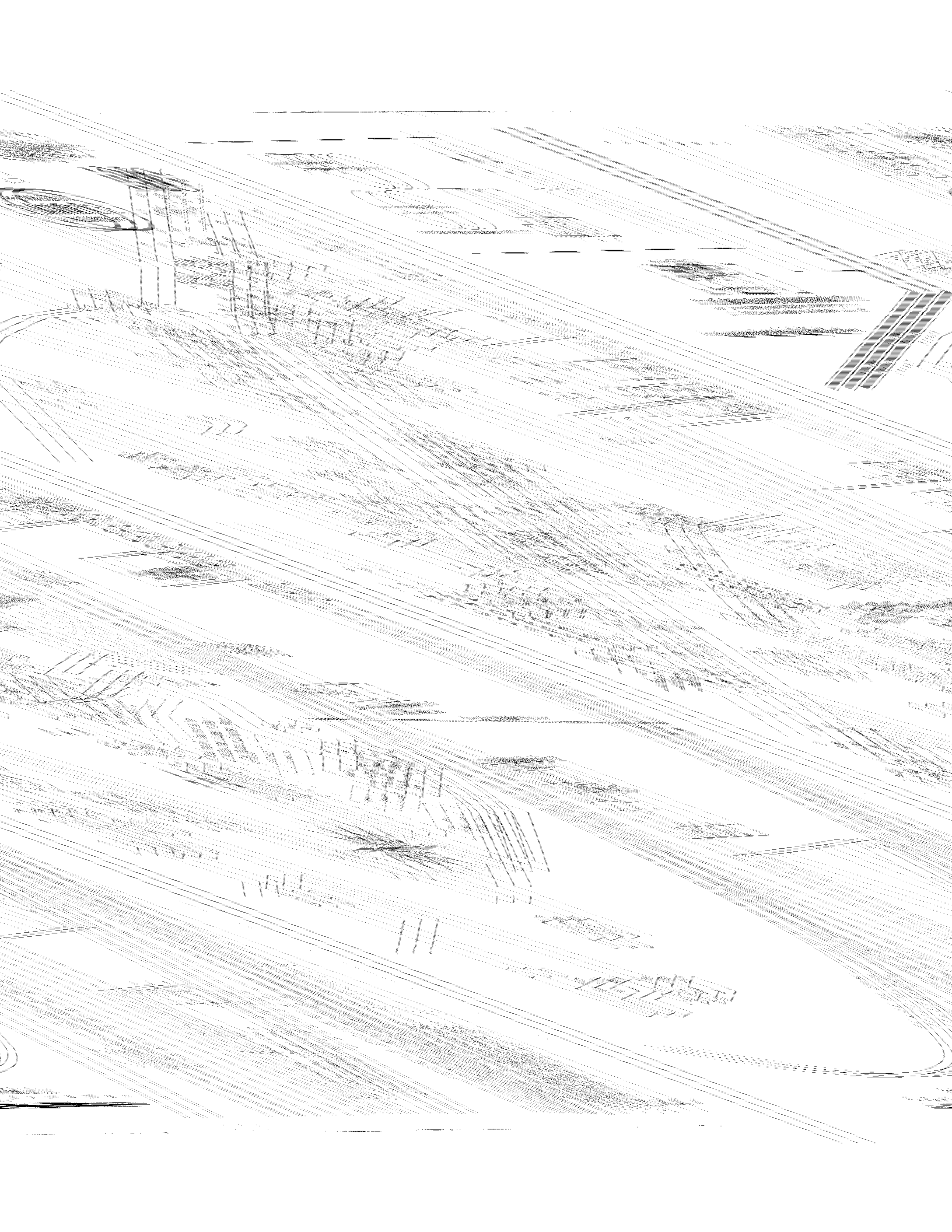
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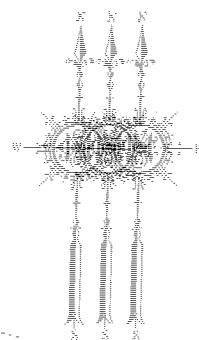
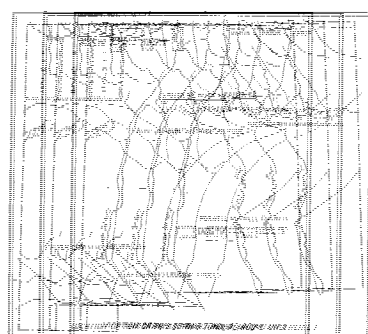
See 8 pages of Sanborn Maps that follow.

Sanborn Maps includes:

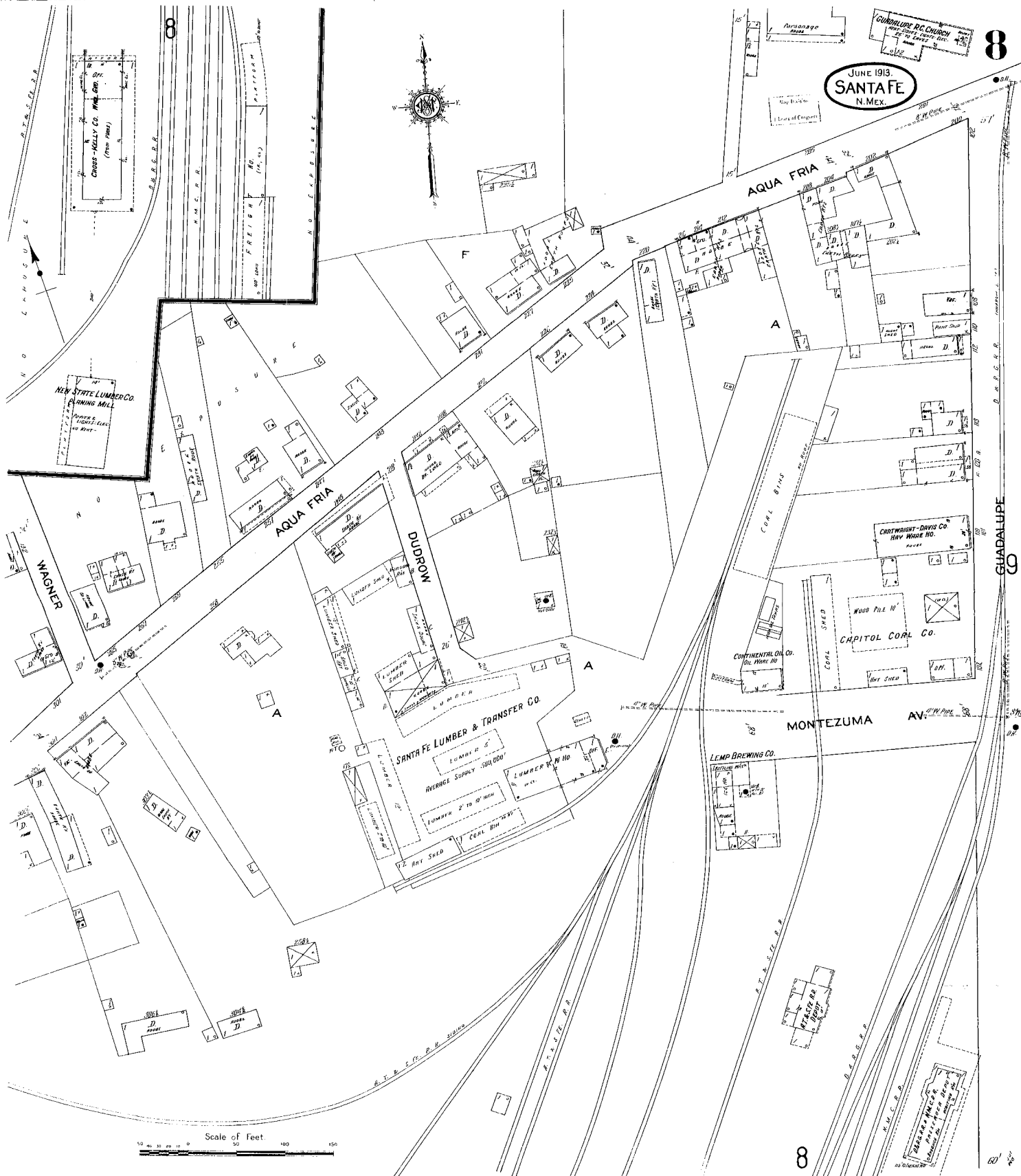
- April 1908
- June 1913
- June 1921
- January 1930
- August 1948 Revision to January 1930 Map





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40



JUNE 1913.
SANTA FE
N.MEX.

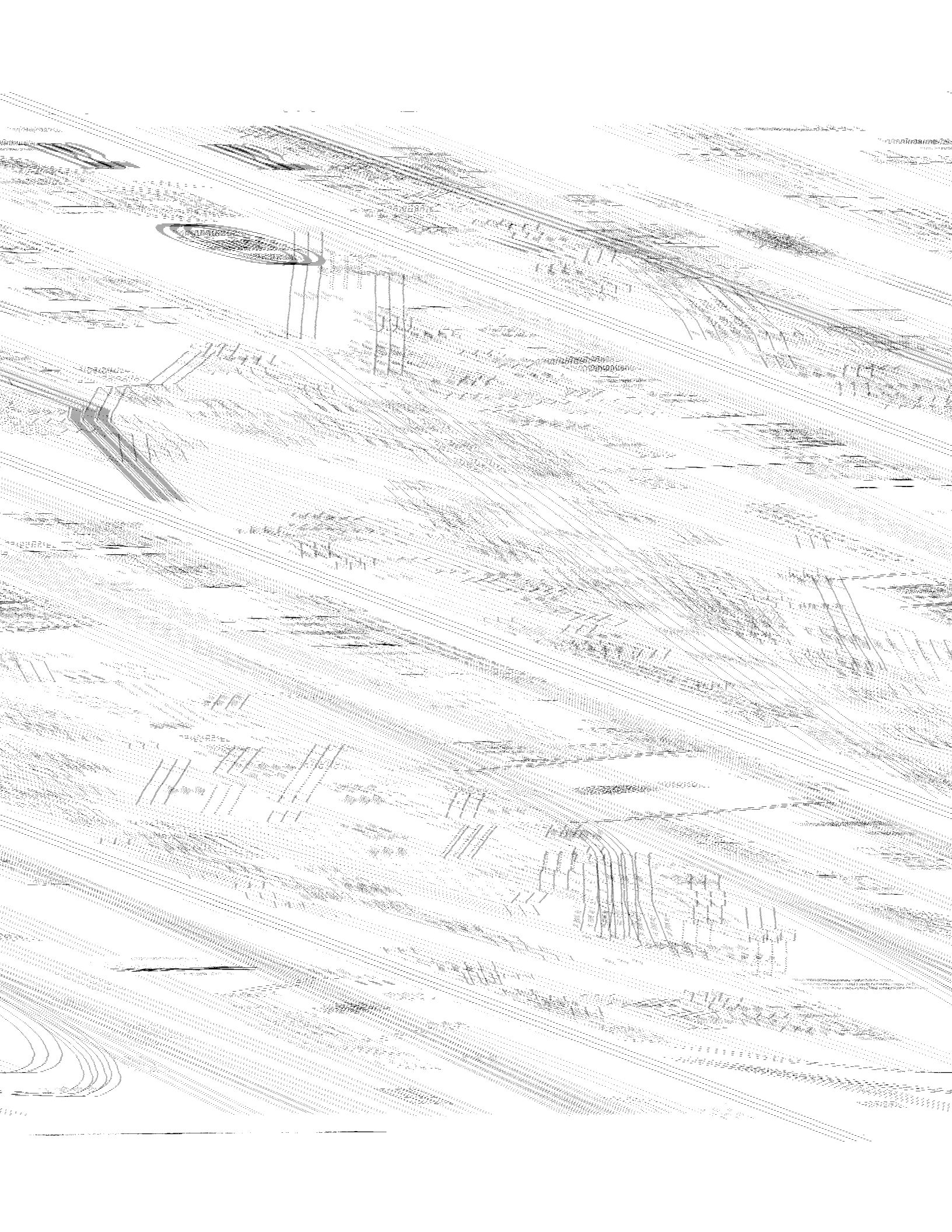
Scale of Feet.
0 50 100 150



Scale of Feet
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200
Copyright 1977 by the United States Government



888



[illegible]



527 Agua Fria Street
Existing Exterior Photographs
9/1/25



1 - South Façade (facing Agua Fria)



2 - South Façade showing west face of structure



3 - South Façade (facing Agua Fria)



4 - South Façade (facing Agua Fria)



5 - East Façade (southeast corner)



6 - East Façade



7 - North Façade (northeast corner)



8 – North Façade



9 - North Façade



10 - North Façade



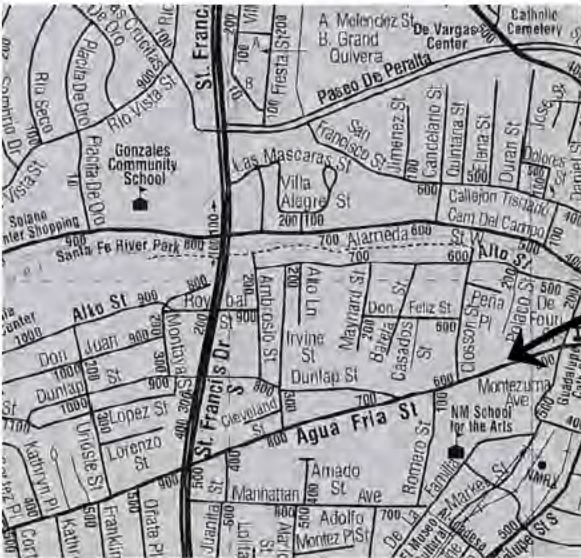
11 - North Façade



12 - North Façade (northwest corner)

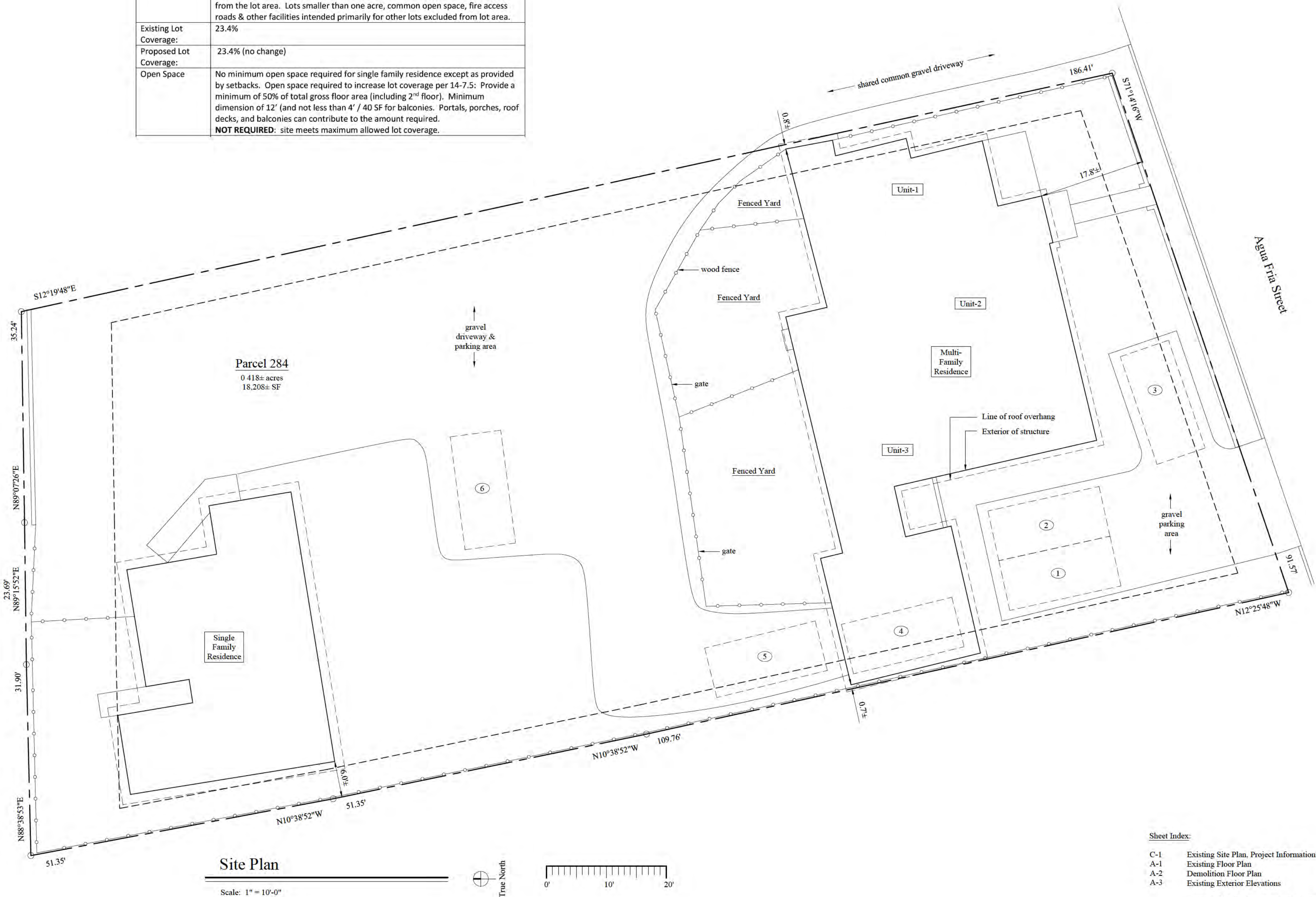
City of Santa Fe Chapter 14 Land Development Code	
Owner	NEIRIKA LLC
Address	527 Agua Fria Street, Santa Fe NM 87501
UPC	1-053-099-521-161
Tax Parcel	1126 6176
Legal	Guadalupe Neighborhood Parcel 284, T17N R9E S23
Zoning	R-21
Historic District	Westside Guadalupe Historic District
Hist. Bldg. Status	Significant (confirm with Historic Preservation Division)
Flood Plain	Not applicable
Archeological	Historic Downtown Archeological Review District
Escarpment	Not applicable
Mountain	Not applicable
Density	21 dwelling units per acre
Min. Lot Size	3,000 SF minimum, 2,000 SF with common open space
Existing Lot Size	0.418± acres
Max. Height	24' maximum height for residential structures, within 10' of side or rear property no portion of any story above ground level shall be higher than 14.0'. Maximum height might be superseded by historic.
Existing Height	18'-8"± (no proposed change)
Setbacks (minimum yard requirements)	Front: 7' (20' for front facing garage) Side: 5' Rear: 15' or 20% of average lot depth, whichever is less
Maximum Lot Coverage:	40% maximum for single family or multi-family of fewer than 6 units. 40% maximum for multi-family with 6 or more units. May increase to 55% maximum if private open space is provided. (Lot coverage is the total area of structures on a lot in relation to lot area). For residential development, the portion of a lot occupied by easements for private roads and lot access driveways is excluded from the lot area. Lots smaller than one acre, common open space, fire access roads & other facilities intended primarily for other lots excluded from lot area.
Existing Lot Coverage:	23.4%
Proposed Lot Coverage:	23.4% (no change)
Open Space	No minimum open space required for single family residence except as provided by setbacks. Open space required to increase lot coverage per 14-7.5: Provide a minimum of 50% of total gross floor area (including 2 nd floor). Minimum dimension of 12' (and not less than 4' / 40 SF for balconies. Portals, porches, roof decks, and balconies can contribute to the amount required. NOT REQUIRED: site meets maximum allowed lot coverage.

Accessory Structures	Generally, cannot be used as an accessory dwelling – may have a half bathroom (sink & toilet) or kitchen but not both.
Parking Residential	Dwelling Unit: 2 spaces per unit Attached Dwelling Unit (2-5 units): 2 spaces per dwelling unit Attached Dwelling Unit (over 5 units, less than 800 SF): 1 assigned space and 0.25 unassigned space per DU Attached Dwelling Unit (over 5 units, 800-1200 SF): 1 assigned space and 0.5 unassigned space per DU Attached Dwelling Unit (over 5 units, over 1200 SF): 1 assigned space and 1.0 unassigned space per DU Accessory Dwelling Unit: 1 space if ADU < 1,000 SF; otherwise 2 spaces Accessory Structures: parking not required 6 offstreet parking spaces
Required Parking Spaces	6 off street parking spaces provided on lot for subject lot (1 in garage).
Existing Parking Spaces	
Parking Space Size	Standard pull in: 8.5' x 19', 23' drive aisle Small car: 7.6' x 15', 20' drive aisle. Parking lots with 10 or more spaces may have up to 20% of total req'd spaces designated as small car. Parallel: 8.5' x 23' Parking lots with less than 40 spaces may be gravel.

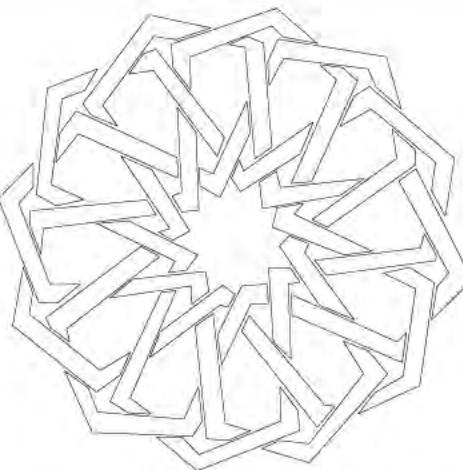


Vicinity Map

Site



Sheet Index:	
C-1	Existing Site Plan, Project Information
A-1	Existing Floor Plan
A-2	Demolition Floor Plan
A-3	Existing Exterior Elevations
Scope of Work: Interior non-structural demolition	
Note: no work to building exterior	
Issued for Building Permit and Construction	



Osage Design
Studio
1216 Vitalia Street
Santa Fe, NM 87505
osagedesignstudio@yahoo.com
505.629.5948

Renovation of an Existing Residential Structure

NEIRIKA LLC

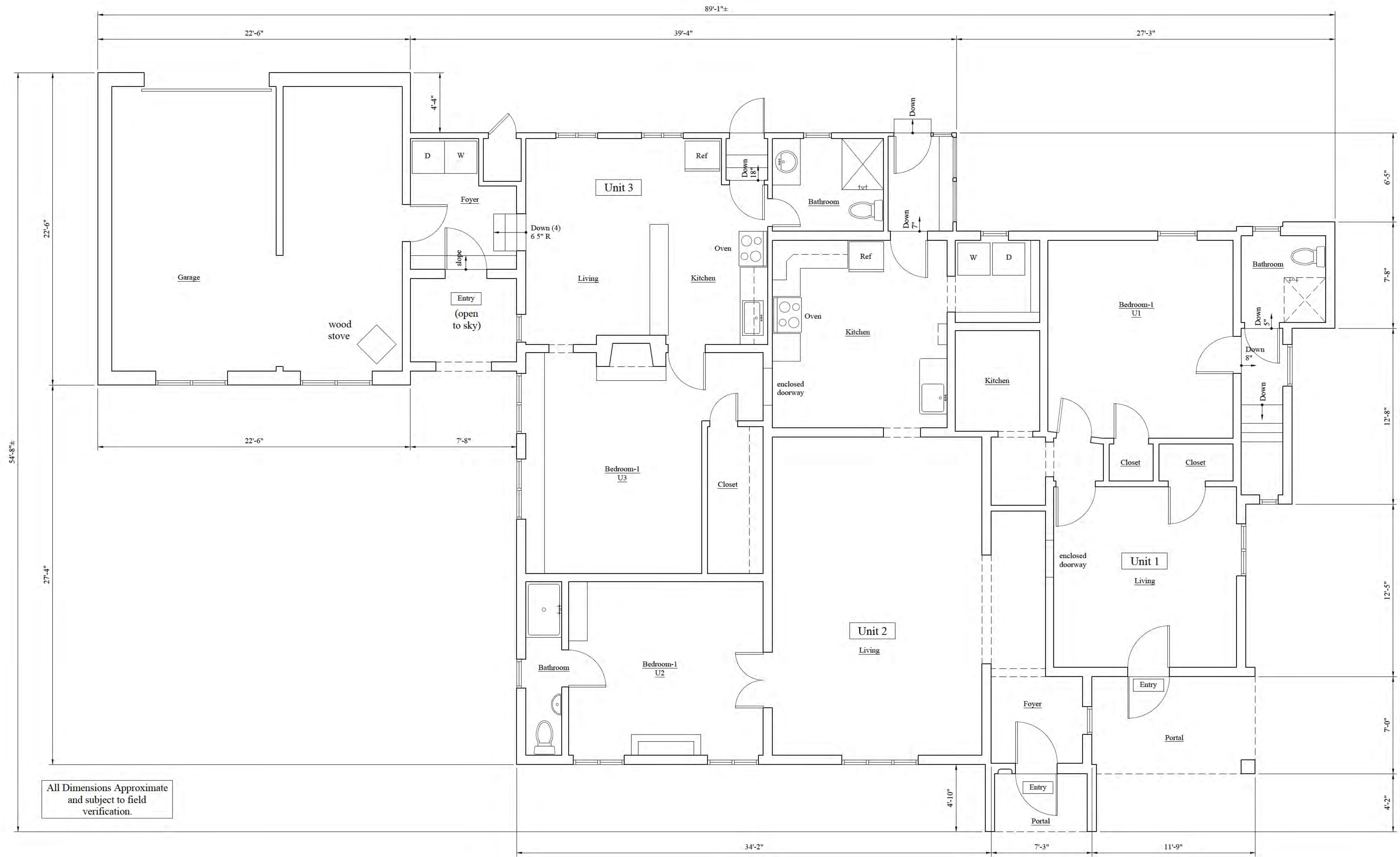
527 Agua Fria Street, Santa Fe NM 87501

Site Plan
Project Information

11/7/25

C-1

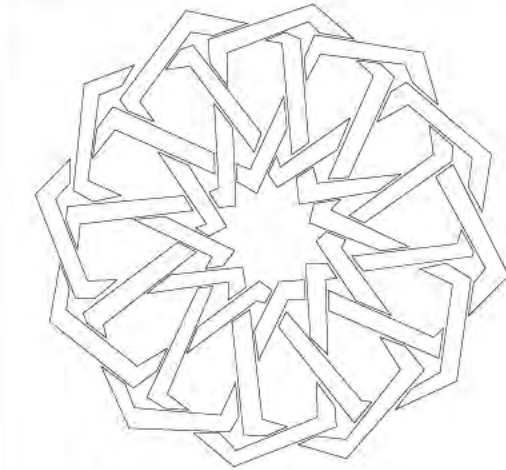
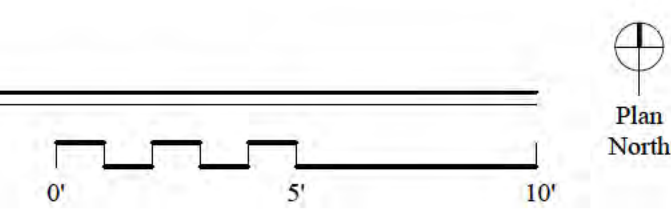
Sheet 1 of 3



Existing Floor Areas - Unit 3:		Existing Floor Areas - Unit 2:		Existing Floor Areas - Unit 1:		Total Existing Floor Areas:	
Heated:	727 SF	Heated:	993 SF	Heated:	625 SF	Heated:	2,345 SF
Non-heated (garage):	506 SF	Non-heated (garage):	0 SF	Non-heated (garage):	0 SF	Non-heated (garage):	506 SF
Portals:	51 SF	Portals:	33 SF	Portals:	82 SF	Portals:	166 SF
Total Heated:	727 SF	Total Heated:	993 SF	Total Heated:	625 SF	Total Heated:	2,345 SF
Total Roofed:	1,284 SF	Total Roofed:	1,026 SF	Total Roofed:	707 SF	Total Roofed:	3,017 SF

Existing Floor Plan

Scale: 1/4" = 1'-0"



Osage Design
Studio
1216 Vitalia Street
Santa Fe, NM 87505
osagedesignstudio@yahoo.com
505.629.5948

Renovation of an Existing Residential Structure

NIERIKA LLC

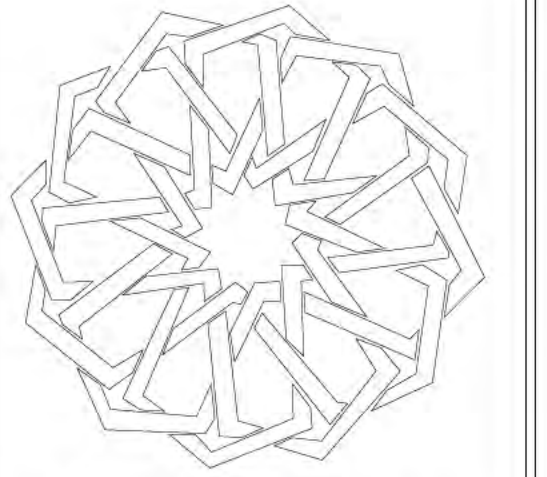
527 Agua Fria Street, Santa Fe NM 87501

Existing Floor Plan

11/7/25

A-1

Sheet 2 of 3



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Studio

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Santa Fe, NM 87505
osagedesignstudio@yahoo.com
505.629.5948

Renovation of an Existing Residential Structure

NIERIKA LLC

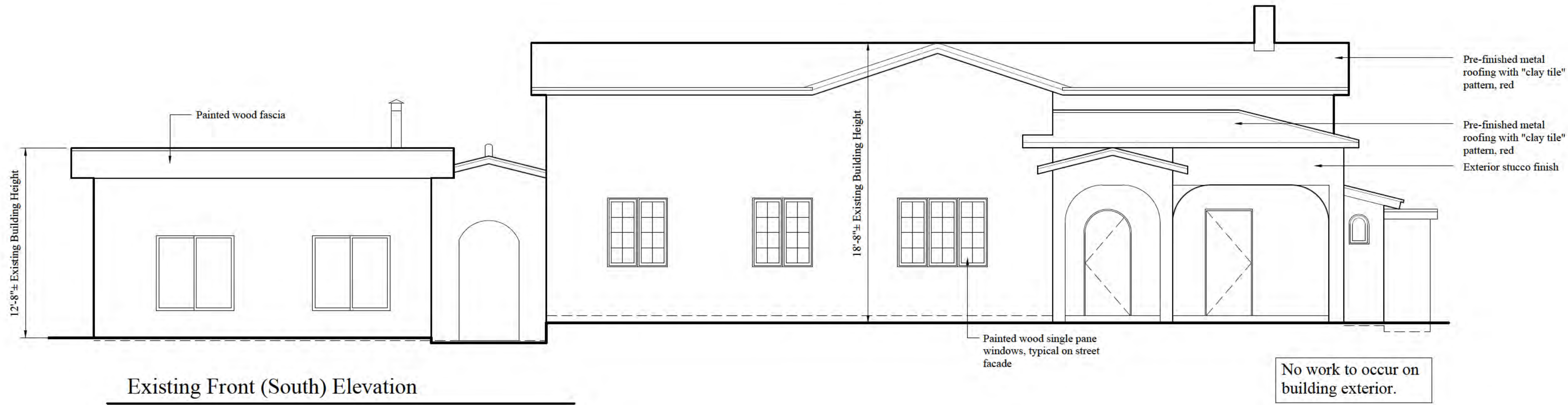
527 Agua Fria Street, Santa Fe NM 87501

Exterior Elevations

11/7/25

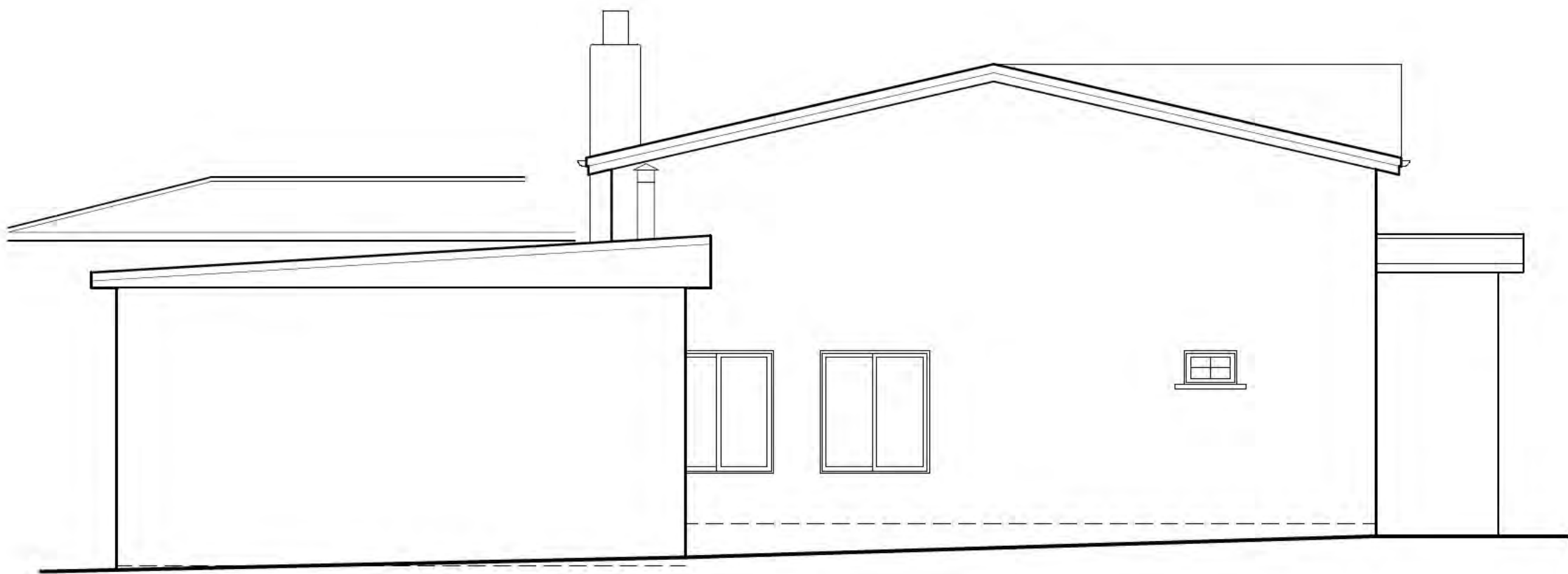
A-3

Sheet 3 of 3



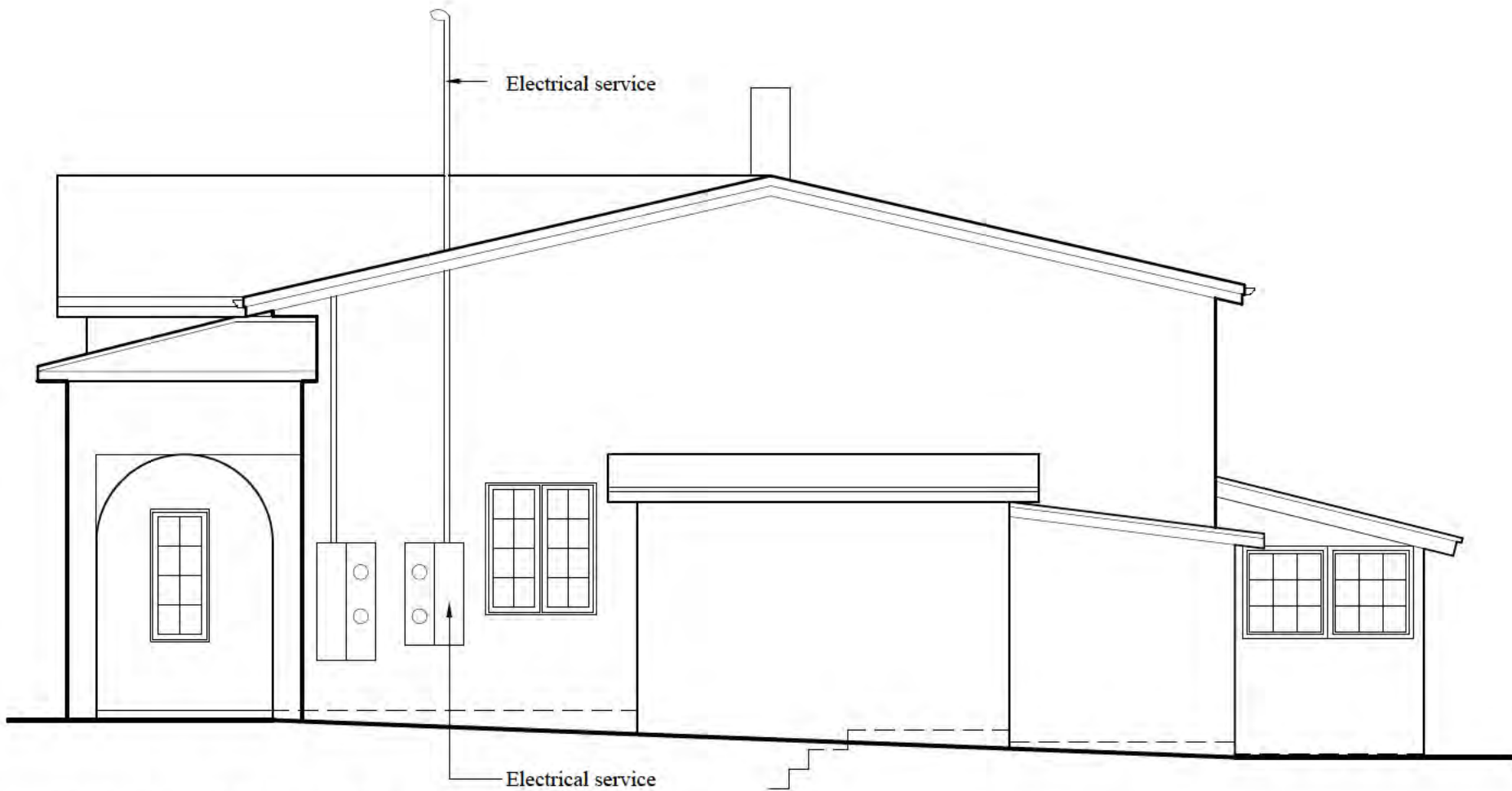
Existing Front (South) Elevation

Scale: 3/16" = 1'-0"



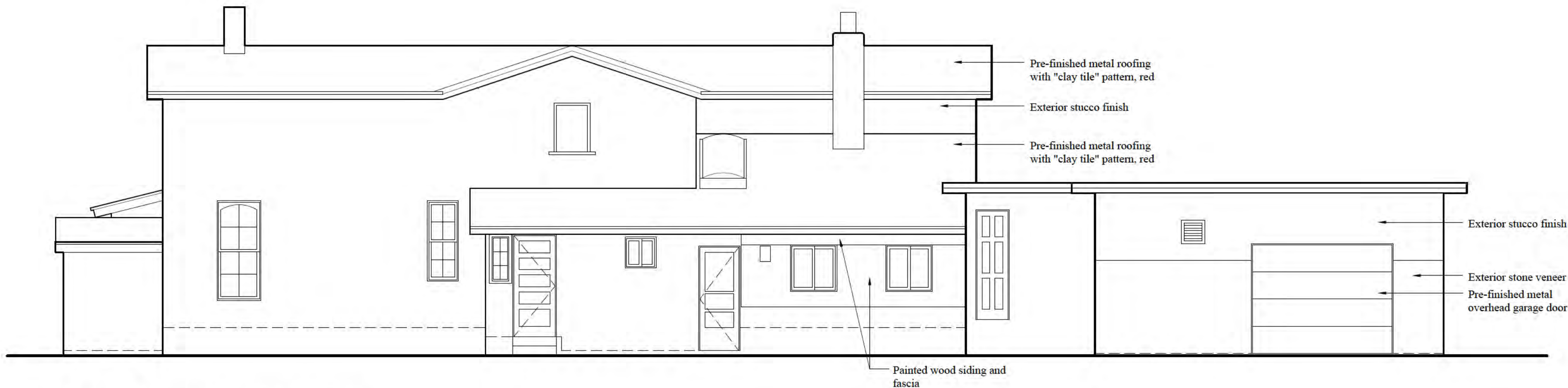
Existing Left Side (West) Elevation

Scale: 3/16" = 1'-0"



Existing Right Side (East) Elevation

Scale: 3/16" = 1'-0"



Existing Rear (North) Elevation

Scale: 3/16" = 1'-0"