



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

August 10, 2026

Lani McCulley, Planner Senior
Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

**RE: Letter of Application – HDRB Review
135 Grant Avenue (Otero-Bergere House) Portal & Balcony Reconstruction**

Dear Lani,

This letter is submitted on behalf of 123-135 Grant, LLC/Georgia O’Keeffe Museum (“Applicant”) in application for the proposed reconstruction of the portal, balcony, and pergola on the west façade of the O’Keeffe Museum Research Center located at 135 Grant Avenue, for consideration by the Historic Districts Review Board on September 8, 2026.

Project Description

The Otero-Bergere House, originally constructed in the 1870’s, is located in the Downtown and Eastside Historic District and designated as Significant. The existing portal, pergola, and balcony on the building’s west façade are no longer structurally sound and must be replaced. The conditions are described below:

- In August 2024, it was discovered that a front porch column was rotting through. This is progressive failure under long-term water exposure, not sudden damage.
- Bradbury Stamm Construction conducted an assessment in 2024 and concluded that, in the interest of safety, the balcony requires replacement.
- There is evidence of active dry rot and weathering in the 4"×10" members of the upper balcony shade structure/pergola, damaged wood structure and millwork trim throughout, and a header beam plus two 4×10 beams in the lower south shade structure requiring replacement.
- The condition is structural, not cosmetic: the footings at the two entry columns have settled and/or deteriorated, causing the structure to move. Replacement footings require engineered design, and temporary shoring of the roof and upper shade structure is required to perform the work safely.
- The deterioration has progressed from a single column (2024) to the balcony's primary structural members and foundations (2025–26). Piecemeal repair is no longer a viable path.

Due to these unsafe conditions, the portal/balcony elements will be reconstructed in-kind as described below:

- Replace all materials in-kind, matching material, dimensions, and finish.
- Rebuild foundations at columns and perimeter of portal to correct subsidence and protect from future water damage.
- Replace composite roof with TPO roof in a tan color.
- Replace gutter system to drain in coordination with updated landscape (under construction).
- Replace ground floor decking with treated hardwood product for greater longevity.

Exception Criteria

An exception is requested from SFCC §14-4.6.E.1.I. to permit removal of historic materials. The Exception Criteria are addressed below.

a. Do not damage the character of the district;

Response: The portal and balcony will be replaced in-kind, thereby preserving the architectural character of the building. Therefore, there will be no impact on the character of the district.

b. Are required to prevent a hardship to the applicant or an injury to the public welfare;

Response: The current conditions of the portal/balcony present a safety hazard, which is a hardship for the applicant and could potentially create an injury to the public. The proposed reconstruction benefits the public welfare by ensuring a safe environment.

c. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Response: The only design option considered was in-kind replacement, which is appropriate for this Significant structure. This project will have no impact on the ability of residents to reside with the Historic districts.

The following documentation is submitted herewith in support of this application:

- | | |
|-------------------------|-------------------------|
| 1. Historic Application | 4. Legal Lot of Record |
| 2. Authorization Letter | 5. HDRB Submittal Plans |
| 3. Deed | |

Please let me know if you have any questions or require any additional information. Thank you.

Sincerely,



Jennifer Jenkins, Principal

August 24, 2026

JenkinsGavin
130 Grant Avenue, Suite 101
Santa Fe, New Mexico 87501

Re: 135 Grant Ave. Porch/Balcony

Jennifer,

As the General Contractor for the new Georgia O'Keeffe Museum, we conducted an inspection of the porch and balcony at the Research Center at the Museum's request. We discovered that the structural integrity of the porch and balcony was compromised. Settling of the building, poor roof, and ground drainage over the years has exposed the wood structure, critical members of the balcony, and main posts of the porch to rot. The railing shows extensive rot as well. The damage in the rear areas of the porch was extensive and not easily noticeable or accessible unless you removed the roof, ceiling, and porch planks to conduct an inspection, which we did. The whole balcony is sagging in the front due to rot and sinking, needing ground repair. Due to the extent and nature of the damage, repairing the porch and balcony is not possible. We recommend that, for safety reasons, the balcony and porch not be used until replaced.

Regards,

Xavier Zamarripa, PM

O'Keeffe Research Center
135 Grant Avenue





Historic Review Submittal Plans

August 10, 2026

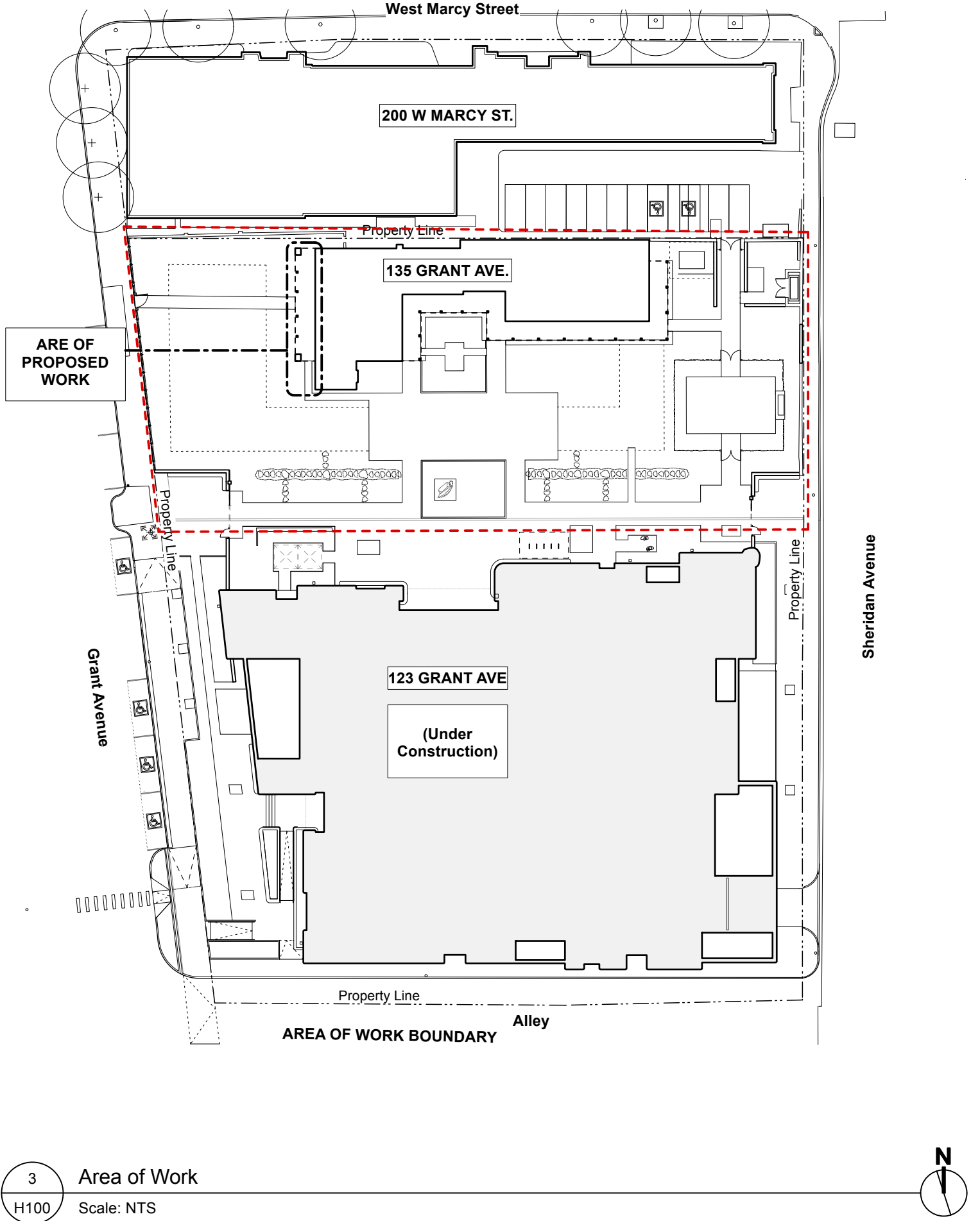
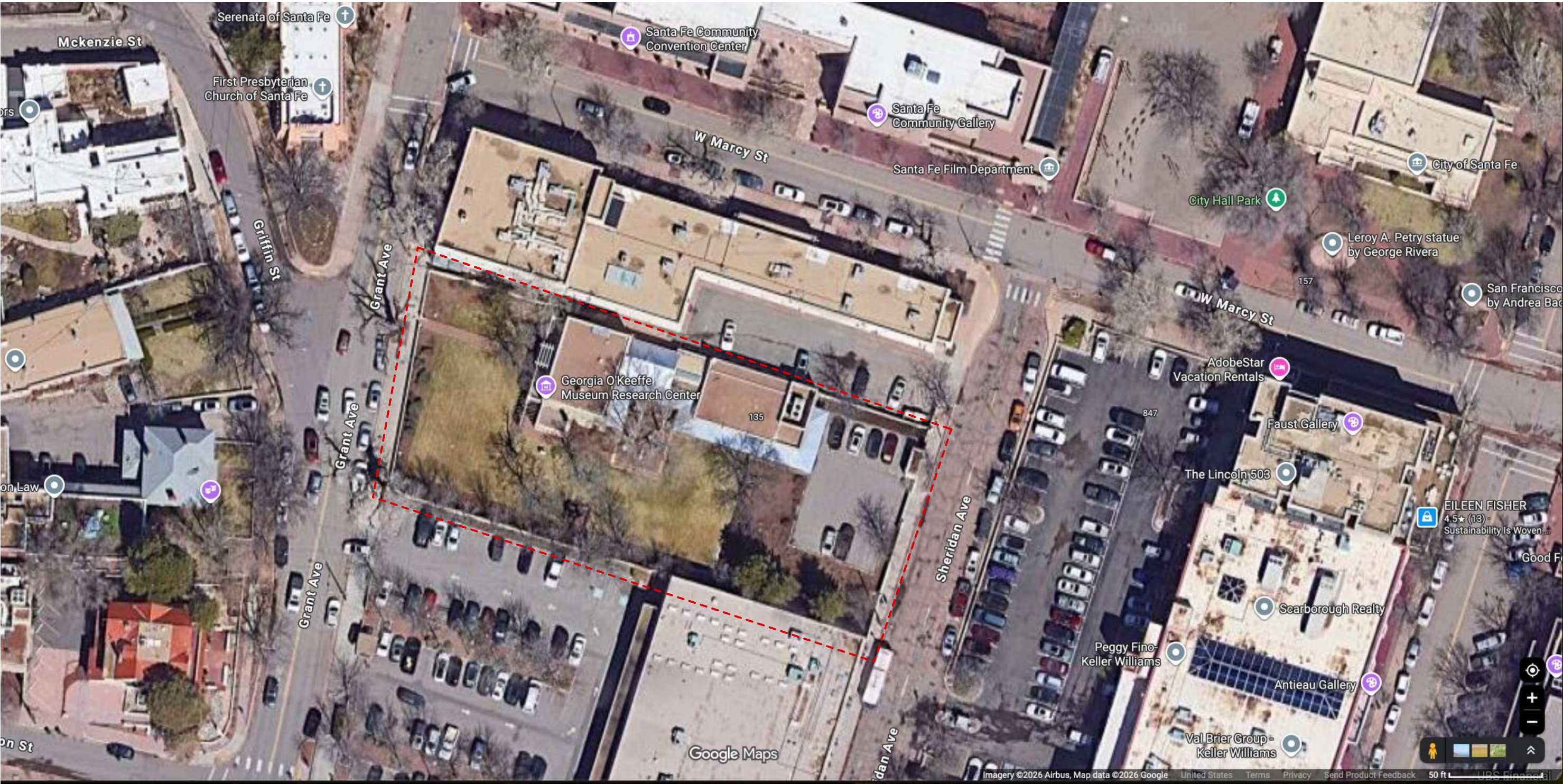
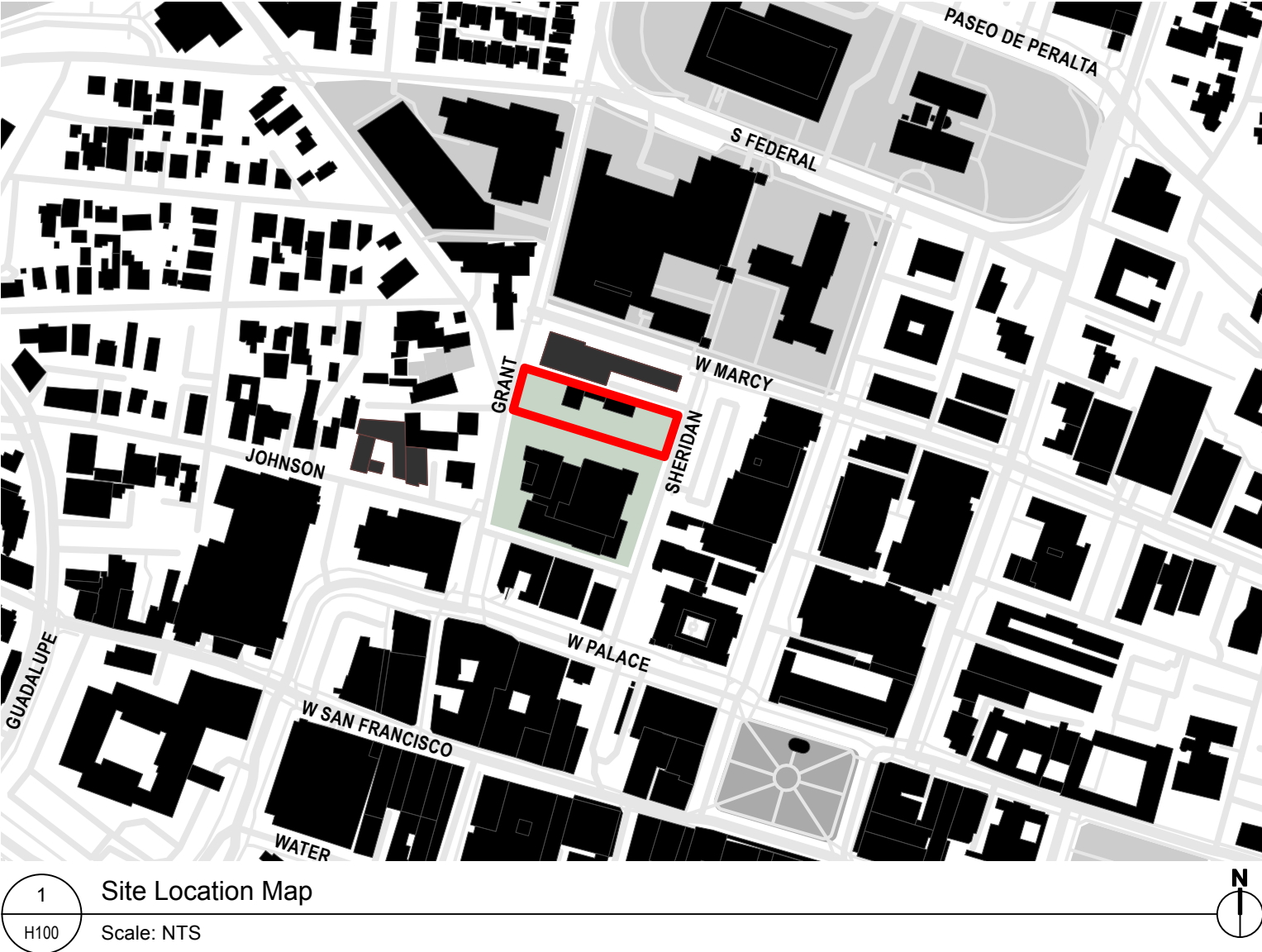


Figure 11: Otero-Bergere House, 1873. Timothy H. O'Sullivan, photographer. Source: Still Picture Records Section, Special Media Archives Services Division, National Archives and Records Administration, College Park, Maryland.



PROJECT DATA	PROJECT DESCRIPTION
PROJECT NAME: Georgia O'Keeffe Museum, Research Center Portal	The project consists of the entire reconstruction of a wooden porch like-for-like. Differential settlement of columns and any damaged structure will be corrected with rebuilt foundations. Structure, decking, roofing, trim, and railings will be replaced like-for-like.
PROJECT ADDRESS: 135 Grant Avenue Santa Fe, NM 87501	

Georgia O'Keeffe Museum

PROJECT DIRECTORY

CLIENT
Georgia O'Keeffe Museum
217 Johnson Street
Santa Fe, NM 87501

OWNER'S REPRESENTATIVE / LAND USE
JenkinsGavin
130 Grant Avenue, Suite 101
Santa Fe, NM 87501
ph: 505-820-7444
Contact: Jennifer Jenkins
email: jennifer@jenkinsgavin.com
mobile: 505-930-6149
Contact: Colleen Gavin
email: colleen@jenkinsgavin.com
mobile: 505-699-0563

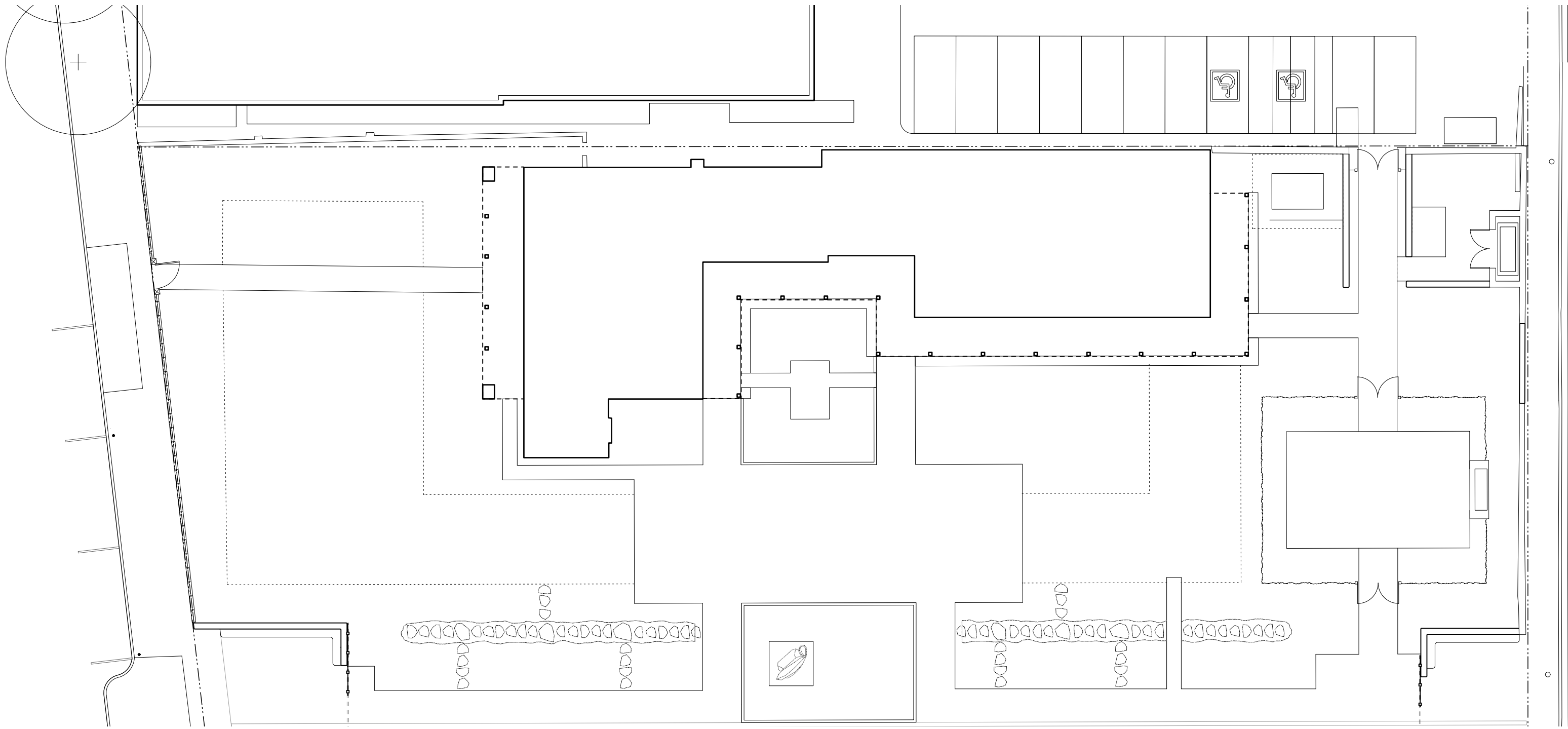
ARCHITECTS
DNCA, LLC
924-A Shoofly St.
Santa Fe, NM 87505
Contact: Devenora N Contractor
email: devenora@dnccarchitect.com
mobile: 505-263-3602
Contact: Deirdre Harris
email: dharris@dnccarchitect.com
mobile: 505-310-2049

NOT FOR CONSTRUCTION

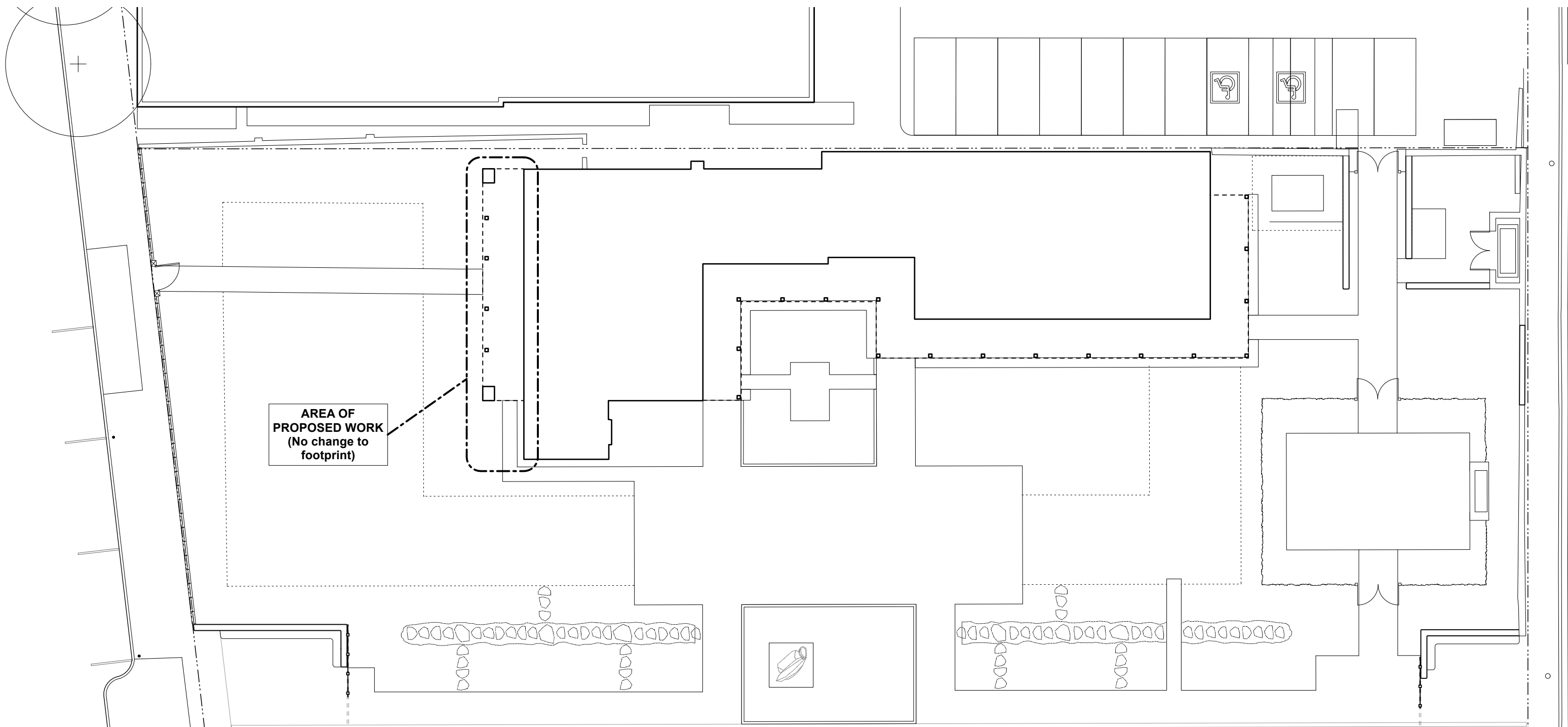
dnca architects
924-A Shoofly Street, Santa Fe, NM 87505
ph (505) 255-4033

GEORGIA O'KEEFFE MUSEUM
Research Center Portal
HDRB Review
135 Grant Avenue, Santa Fe, NM 87501

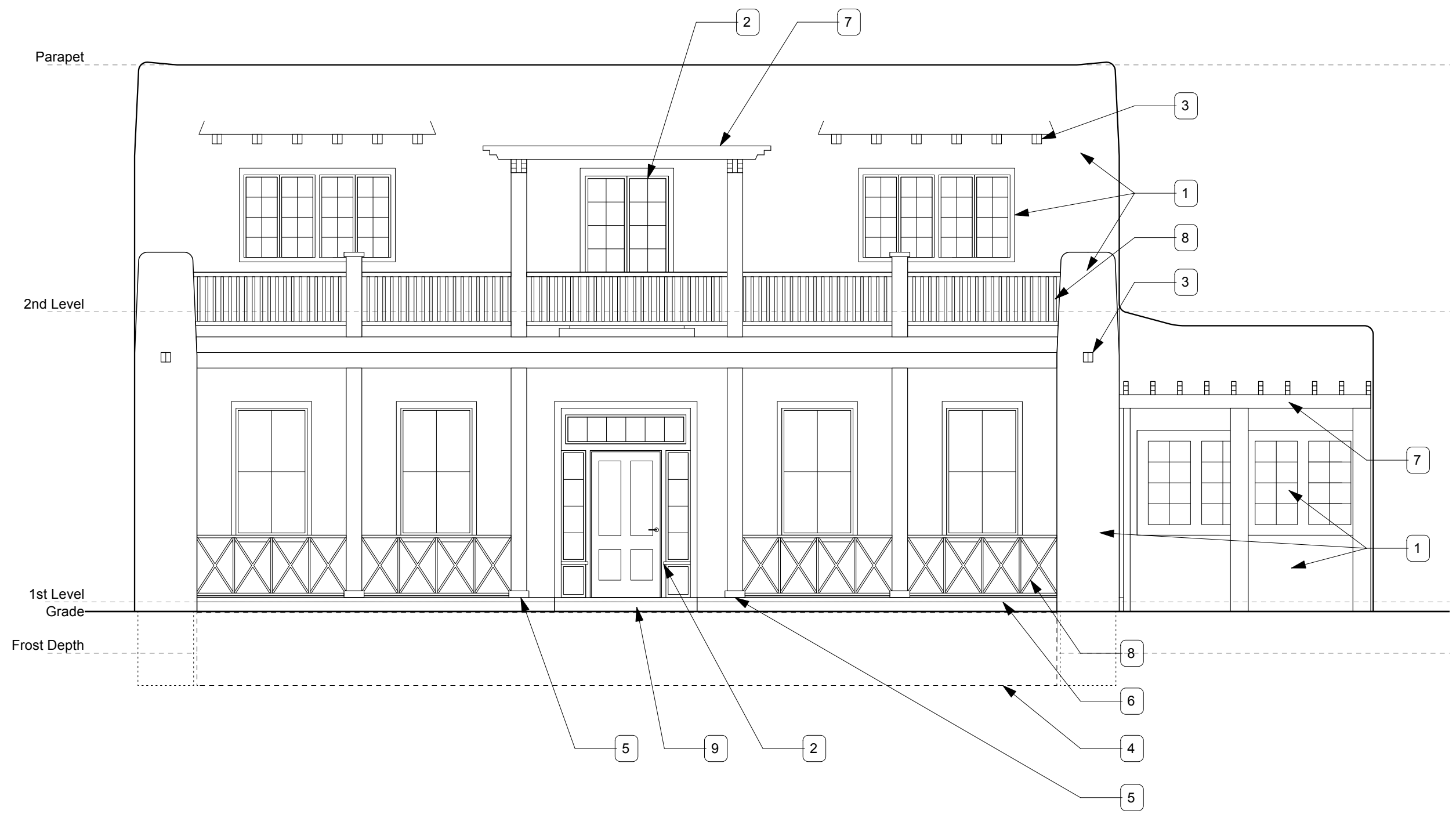
Date	Issue
August 10, 2026	
Drawn by TH	Checked by
File 135 Grant G100 Cover 260303.vwx	
Set HDRB Review	
Sheet Title Cover Sheet	
H100	
Sheet 01 of 3	



1 Existing Site Plan
H101 Scale: 1" = 20'-0"



3 Proposed Site Plan
H101 Scale: 1" = 20'-0"



2 Existing West Elevation
H101 Scale: 3/16" = 1'-0"



5 Proposed West Elevation
H101 Scale: 3/16" = 1'-0"

- PROJECT NOTES**
1. Wood structure, decking, roof, and trim are in a degraded state. Replace all like-for-like, matching material, dimensions, and finish unless noted otherwise. Proposed rebuilt porch and trellis is to visually match the existing.
 2. Rebuild foundations at columns and perimeter of porch to correct subsidence and protect from future water damage.
 3. Replace composite roof with TPO roof in tan color.
 4. Replace gutter system to drain in coordination with updated landscape (under construction).
 5. Replace ground floor decking with treated hardwood product for greater longevity.
 6. Any damage to existing-to-remain structure or finishes to be repaired.
- KEYED NOTES**
1. Existing stucco and windows to remain.
 2. Existing door and sills to remain. Repair and repaint as required.
 3. Existing trim to be evaluated and replaced/repainted as required.
 4. Existing foundation subsiding. To be replaced.
 5. Existing column subsiding. To be replaced on new foundation.
 6. Existing decking and fascia degrading. To be replaced.
 7. Existing wood trellis degrading. To be replaced.
 8. Existing trim degrading. To be replaced.
 9. Existing walkway to remain. Repair as required.
 10. All replacements like-for-like. Any damage to existing-to-remain structure or finishes to be repaired.

NOT FOR CONSTRUCTION

Consultant

dnca architects

924-A Shoofly Street, Santa Fe, NM 87505

ph(505)255-4033

GEORGIA O'KEEFFE MUSEUM

Research Center Portal

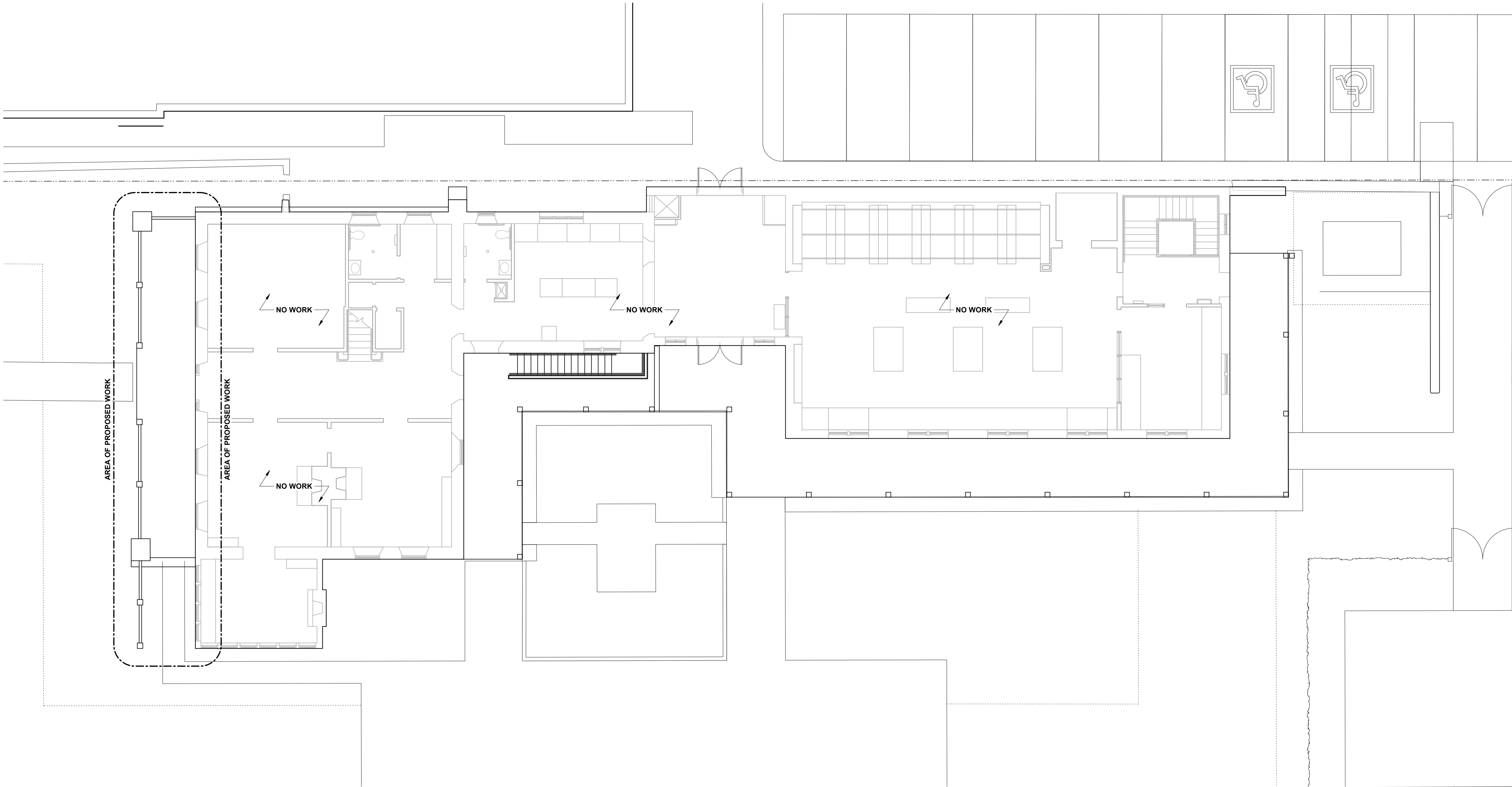
HDRB Review

135 Grant Avenue, Santa Fe, NM 87501

Date	Issue
August 10, 2026	
Drawn by	Checked by
File	135 Grant G100 Cover 260303.vwx
Set	HDRB Preliminary Review
Sheet Title	Existing and Proposed

H101

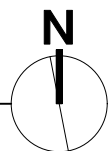
Sheet 02 of 2



1
H102

Plan - Existing and Proposed (No Changes to Plan)

Scale: 1/8" = 1'-0"



PROJECT NOTES
1. Wood structure, decking, roof, and trim are in a degraded state. Replace all like-for-like, matching material, dimensions, and finish unless noted otherwise. Proposed rebuilt porch and trellis is to visually match the existing.
2. Rebuild foundations at columns and perimeter of porch to correct subsidence and protect from future water damage.
3. Replace composite roof with TPO roof in tan color.
4. Replace gutter system to drain in coordination with updated landscape (under construction).
5. Replace ground floor decking with treated hardwood product for greater longevity.
6. Any damage to existing-to-remain structure or finishes to be repaired.

Date	Issue
August 10, 2026	
Drawn by	Checked by
File 135 Grant G100 Cover 260717.vwx	
Set HDRB Preliminary Review	
Sheet Title Existing and Proposed Plan	
H102	
Sheet 02	of 2

NOT FOR CONSTRUCTION

Consultant

dnca architects

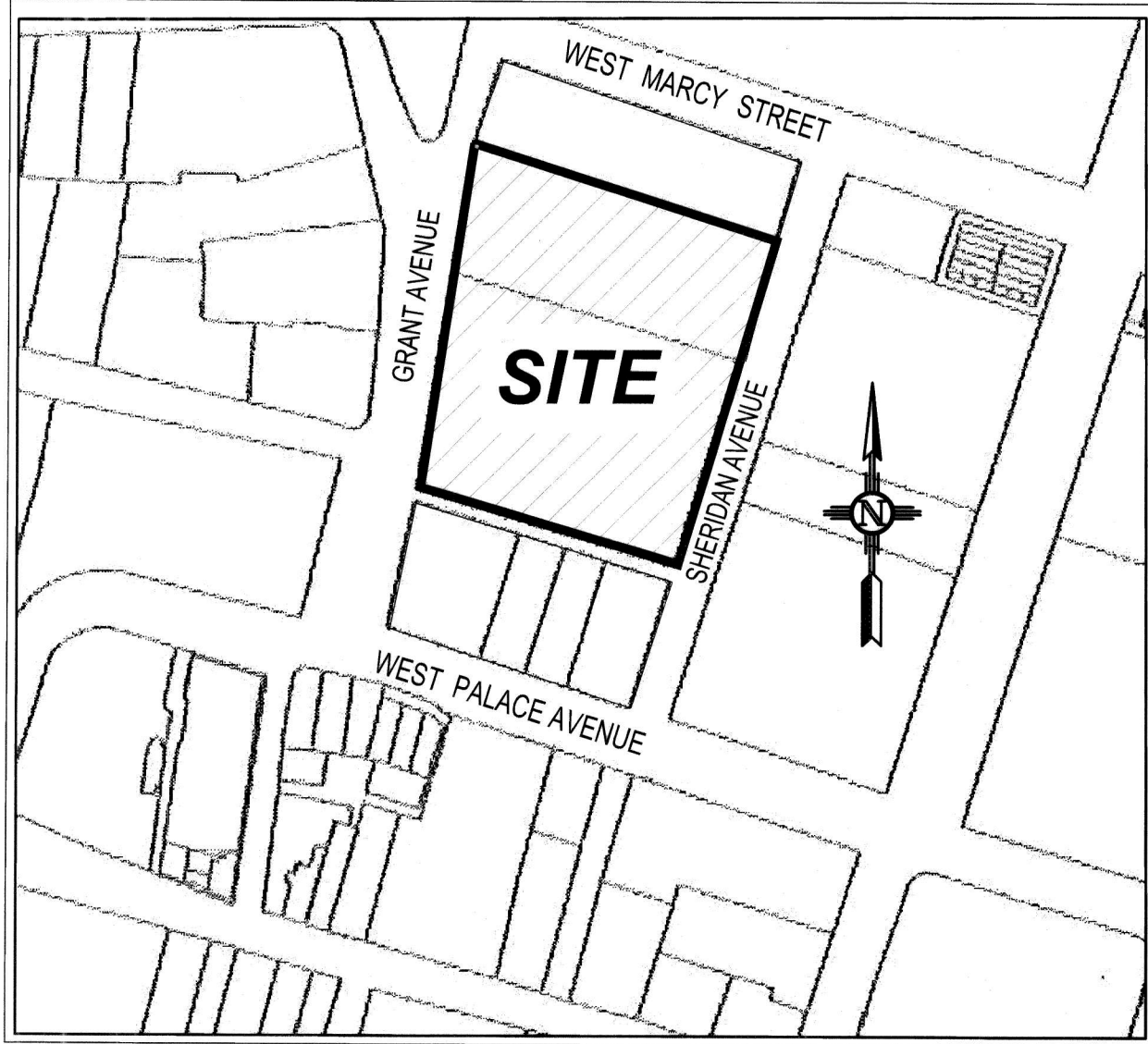
924-A Shoofly Street, Santa Fe, NM 87505
ph(505)255-4033

GEORGIA O'KEEFFE MUSEUM

Research Center Portal

HDRB Review

135 Grant Avenue, Santa Fe, NM 87501



LOCATION MAP
NOT TO SCALE

NOTES:

- Bearings are per record as shown hereon.
- Distances are Ground Distances.
- All easements of record that I am aware of are shown.
- Tracts shown hereon lie within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35049C0404E, Map Revised December 4, 2012.
- Record bearings and distances shown in parenthesis ().
- Basis of bearings as shown hereon.
- Date of field survey: 12/2020
- City approval of this plat does not alter or remove any easements, restrictions or reservations of record pertaining to the land herein described.

DISCLOSURE STATEMENT:

The purpose of this Plat is to consolidate a portion of Lot Five (5), Lots Six (6), Seven (7), Eight (8) and Nine (9), Block Two (2), as shown on the Amended Plat of Fort Marcy Addition, filed in Plat Book 1, Page 142, records of Santa Fe County, New Mexico; and as further shown on "Plat of Survey for Poohbah, Inc. On Lot 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition to the City of Santa Fe, Santa Fe County, New Mexico 123 Grant Avenue", filed January 31, 1997, as Document No. 972,576, in Plat Book 355 at page 011, and "Boundary Survey Plat prepared for Harry L. Bigbee", filed January 2, 1997 as Document No. 969,809, in Plat Book 352, Page 048, records of Santa Fe County, New Mexico. All to be shown as one (1) lot.

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

- Plat of Survey for Poohbah, Inc. On Lot 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition to the City of Santa Fe, Santa Fe County, New Mexico 123 Grant Avenue", filed January 31, 1997, as Document No. 972,576, in Plat Book 355 at page 011, records of Santa Fe County, New Mexico.
- Amended Plat of Fort Marcy Addition, filed in Plat Book 1, Page 142, records of Santa Fe County, New Mexico.
- Right-Of-Way Survey of Sheridan Avenue Within The Fort Marcy Addition To The City Of Santa Fe, filed May 3, 2016 in Book 802, Page 012, Instrument No. 1792615, records of Santa Fe County, New Mexico.
- Special Warranty Deed filed May 7, 2021 as Instrument No. 1952466, records of Santa Fe County, New Mexico.
- Unrecorded plat entitled "Map of Lot 6 And Northerly Portion Lot 5, in Block 12, King's Map and 1924 Official Map, Santa Fe, New Mexico" by Walter G. Turley, Amended Date August 6, 1940.

SURVEYOR'S CERTIFICATION:

I, Barry S. Phillips a Registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and is true and accurate to the best of my knowledge and belief.

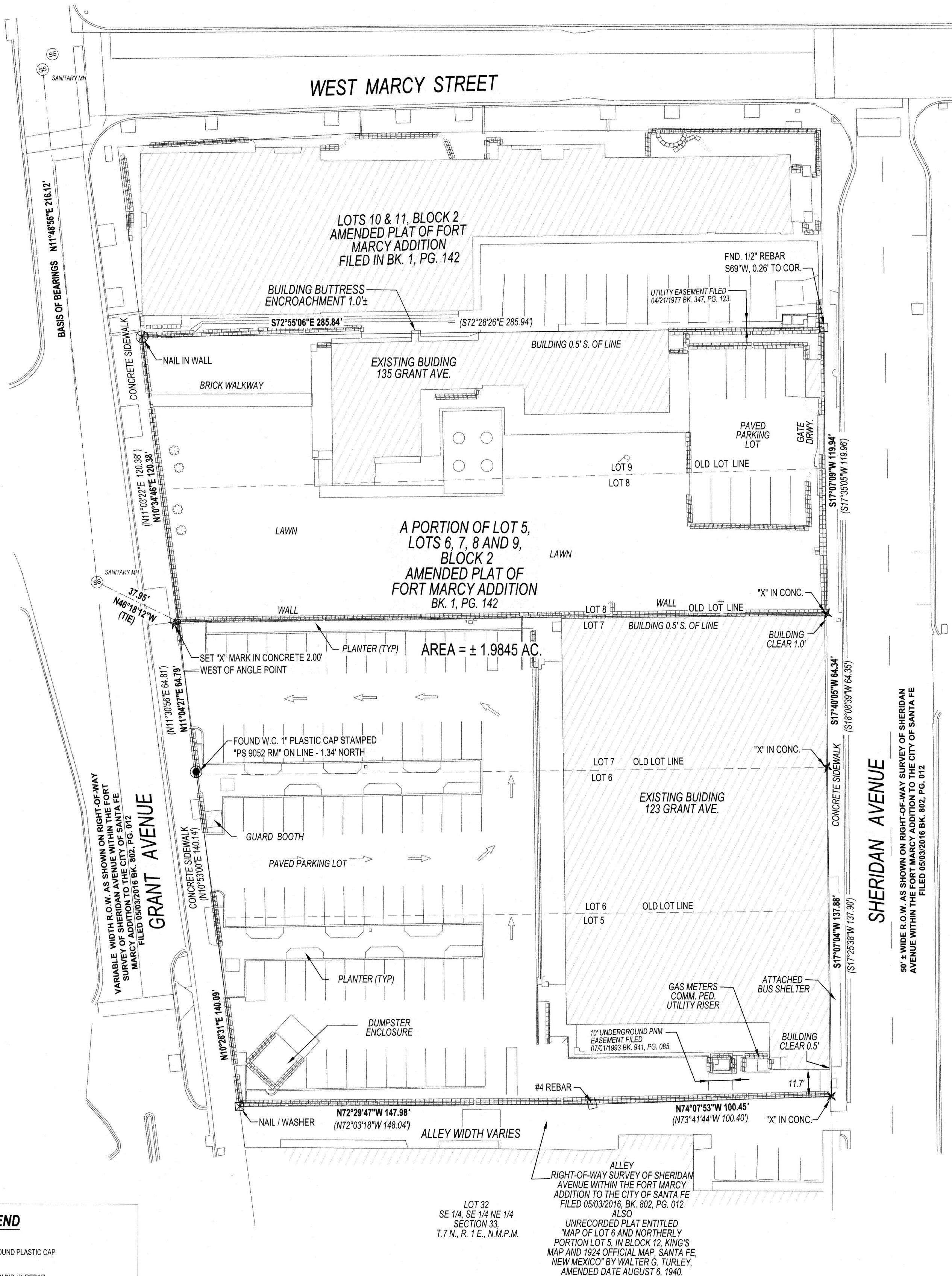
Barry S. Phillips
New Mexico Professional Surveyor 15517

04-03-2024
Date:



LEGEND

- FOUND PLASTIC CAP
- FOUND #4 REBAR
- FOUND NAIL
- FOUND "X" IN CONC.
- FOUND NAIL W/ WASHER
- SANITARY SEWER MANHOLE
- BOUNDARY LINE
- EXISTING EASEMENT LINE



912 21

CONSOLIDATION PLAT OF
A PORTION OF LOT 5, LOTS 6, 7, 8,
AND 9, BLOCK 2,
AMENDED PLAT OF FORT MARCY ADDITION,
FILED IN BOOK 1, PAGE 142
RECORDS OF SANTA FE COUNTY, NEW MEXICO
PROJECTED SECTION 24,
TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M.
SANTA FE COUNTY
CITY OF SANTA FE, NEW MEXICO
NOVEMBER, 2023

CITY OF SANTA FE REVIEW

CITY ENGINEER FOR LAND USE
CITY PLANNER
SANTA FE COUNTY TREASURER

5/7/24
DATE
5/7/24
DATE
May 3, 24
DATE

FREE CONSENT AND DEDICATION:

The foregoing Plat of that certain tract of land situate within Projected Section 24, Township 17 North, Range 9 East, New Mexico Principal Meridian, Santa Fe County, City of Santa Fe, New Mexico, being and comprising a portion of Lot Five (5), Lots Six (6), Seven (7), Eight (8) and Nine (9), Block Two (2), as shown on the Amended Plat of Fort Marcy Addition, filed in Plat Book 1, Page 142, records of Santa Fe County, New Mexico; and as further shown on "Plat of Survey for Poohbah, Inc. On Lot 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition to the City of Santa Fe, Santa Fe County, New Mexico 123 Grant Avenue", filed January 31, 1997, as Document No. 972,576, in Plat Book 355 at page 011 and "Boundary Survey Plat prepared for Harry L. Bigbee", filed January 2, 1997 as Document No. 969,809, in Plat Book 352, Page 048, records of Santa Fe County, New Mexico, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and do hereby consent to all of the foregoing and do hereby certify that this Plat is their free act and deed.

123-135 Grant LLC, a New Mexico limited liability company, as owner of a portion of Lot 5, Lots 6, 7, 8 and 9.

By Cody Hartley, Authorized Manager

By: Cody Hartley
Authorized Manager

State of New Mexico)

County of Santa Fe)

This instrument was acknowledged before me on 10th day of

April, 2024 by Cody Hartley

of 123-135 Grant LLC, a limited liability company, owner of a portion of Lot 5, Lot 6, 7, 8 and 9, Cody Hartley, Authorized Manager

My Commission Expires: 12/30/2026

Gabrielle Jai Schultz
Notary Public

INSTRUMENT NO. 2035395

COUNTY OF SANTA FE

STATE OF NEW MEXICO

I hereby certify that this instrument was filed for record on the 8th day

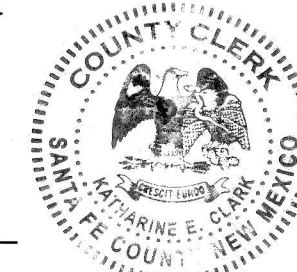
of May A.D. 2024 at 10:35 o'clock A.M. and was duly

recorded in Book 912, Page 21 of the records of Santa Fe County.

Witness my hand and Seal of Office
County Clerk, Santa Fe County, New Mexico

INDEXING INFORMATION FOR COUNTY CLERK

ASSESSED OWNER/S: 123-135 GRANT LLC
UPC: 1054099213231 and 1054099218245
PROJECTED SECTION 24, TOWNSHIP 17 NORTH, RANGE 9 EAST,
N.M.P.M., SANTA FE COUNTY, NM
123 and 135 GRANT AVENUE, SANTA FE



Bohannon & Huston
www.bhinc.com 800.877.5332

SHEET 1 OF 1

2024-8

SPECIAL WARRANTY DEED

BSF Foundation, a Texas non-profit corporation, as a donative transfer, without consideration, grants to **123-135 Grant LLC**, a New Mexico limited liability company, whose address is 155 Grant Avenue, Santa Fe, New Mexico 87501, the following described real estate in Santa Fe County, New Mexico:

See Exhibit A attached hereto and incorporated herein by this reference;
with **special warranty covenants**.

BSF Foundation

Date: 5 May 2021, 2021

By: *V. Neils Agather*
V. Neils Agather, Vice President

Acknowledgment

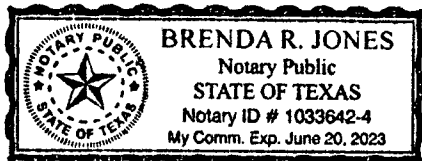
State of Texas

County of Tarrant

This instrument was acknowledged before me this 5 day of May, 2021 by V. Neils Agather, Vice President of BSF Foundation, a Texas non-profit corporation, on behalf of said entity.

(Personalized Seal)

Brenda R. Jones
Notary Public's Signature



COUNTY OF SANTA FE }
STATE OF NEW MEXICO } ss

SPECIAL WARRANTY DEED
PAGES: 3

I Hereby Certify That This Instrument Was e-Recorded for
Record On The 7TH Day Of May, A.D., 2021 at 04:11:56 PM
And Was Duly Recorded as Instrument # 1952466
Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office
Katharine E. Clark
County Clerk, Santa Fe, NM

Deputy - KVAUGHN

EXHIBIT A**LEGAL DESCRIPTION**

Real property located in Santa Fe County, New Mexico more particularly described as follows:

Lots Six (6) and Seven (7) and a portion of Lot Five (5), Block Two (2), as shown on the Amended Plat of Fort Marcy Addition, filed in Plat Book 1, Page 142, records of Santa Fe County, New Mexico; and as further shown on "Plat of Survey for Poohbah, Inc. On Lot 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition to the City of Santa Fe, Santa Fe County, New Mexico 123 Grant Avenue", prepared by David E Cooper, P.S. No. 9052, dated December 31, 1996, bearing Project No. C-0401296, filed January 31, 1997, as Document No. 972,576, in Plat Book 355 at page 011, records of Santa Fe County, New Mexico.

And

Lots Eight (8) and Nine (9), Block Two (2), as shown on the Amended Plat of Fort Marcy Addition, filed in Plat Book 1, Page 142, records of Santa Fe County, New Mexico; and as further shown by survey prepared for Harry L. Bigbee, by Gary E. Dawson, NMPS 7014, dated 6 December, 1996, filed January 2, 1997 as Document No. 969,809, in Plat Book 352, Page 048, records Santa Fe County, New Mexico, being more particularly described as follows:

BEGINNING at the southwest corner, from which the center of sanitary sewer manhole cover No. A4G-23 in Grant A'e bears N. 45 deg. 50' W., 37.93 feet;

Thence from said point of beginning: N. 11 deg. 03' 22" E., 120.38 feet; thence S. 72 deg. 28' 26" E., 285.94 feet; thence S. 17 deg. 35' 05" W., 119.96 feet; thence N. 72 deg. 24' 02" W., 272.25 feet to the point of beginning.

SUBJECT TO:

1. Taxes and assessments for the year 2021 and subsequent years not yet due and payable.
2. Underground Easement filed July 1, 1993, recorded in Book 941, Page 085, records of Santa Fe County, New Mexico.
3. Notes, conditions and easements, all as shown on plat filed January 31, 1997 as Document No. 972,576, in Plat Book 355, Page 011, records of Santa Fe County, New Mexico.

4. Rights of easement, if any, relating to the electric transformer, gas meters and pay phone, as shown on the plat filed January 31, 1997 as Document No. 972,576, in Plat Book 355, Page 011, records of Santa Fe County, New Mexico.
5. Encroachment of the guard booth eave onto the Grant Avenue right-of-way; encroachment of the wall onto the Land, as shown on plat filed January 31, 1997 as Document No. 972,576, in Plat Book 355, Page 011, records of Santa Fe County, New Mexico.
6. Loss or damage resulting from the "Area of Overlap", as shown on survey entitled "Right-of-Way Survey of Sheridan Avenue Within the Fort Marcy Addition to the City of Santa Fe...", filed May 3, 2016 as Instrument No. 1792615, in Plat Book 802, Page 12, records of Santa Fe County, New Mexico.
7. Rights of easement, if any, relating to the gas meter, as shown on plat filed January 2, 1997 as Document No. 969,809, in Plat Book 352, Page 048, records of Santa Fe County, New Mexico.
8. Encroachment of the wall and buttress onto the adjoining property; encroachment of the fence onto the Grant Avenue right-of-way, as shown on plat filed January 2, 1997 as Document No. 969,809, in Plat Book 352, Page 048, records of Santa Fe County, New Mexico.
9. Rights of tenant(s) in the Land, if any, and rights of all parties claiming by, through or under said tenant(s).
10. Declaration of Restrictive Covenant filed for record on ^{MAY} ~~April~~ 7, 2021, in Book 1952453, Page , as Instrument Number 1952453, records of Santa Fe County, New Mexico, for the duration stated therein.