

Ms. Lamboy said they do and when the ordinance was inserted in the late 1990s, they wanted to be clear that height exceptions were the authority of the HBoard.

G. OLD BUSINESS

Chair Rios said public speakers would be limited to two minutes. She explained the appeal process.

1. **2022-005877-HDRB. 127 & 127 ½ E. DeVargas St.** Contributing. Dale Zinn, agent for Betty Caldwell Irrevocable Trust, Owner, proposes to remodel a 612 sq.ft. studio by adding a 180 sq.ft. portal and a 15 sq.ft. firebox, window, door, and yard wall alterations. (Angela Schackel Bordegaray)

STAFF REPORT

127 and 127 ½ E. DeVargas Street is a .25-acre property in the Downtown and Eastside Historic District with two main buildings, one known as the “Cider Press,” the other is a studio building used for storage, located south of the “Cider Press.” The “Cider Press Compound,” as the applicant refers to it, is a unique and curious group of historic structures sandwiched between two public institutional buildings. Its north primary façade is oriented toward the Santa Fe River.

The lot and structures were originally part of a larger lot with a historically significant home to its south up a hill to East DeVargas Street. The river side has notable boxed windows, a remaining “Cider Press” sign, and faded murals that are familiar to generations of Santa Feans and visitors.

Both structures were designated contributing at the July 26, 2022, HDRB hearing (case 2022-005472-HDRB) along with the low river rock north and east yard walls. The board designated the north, west and east elevations of the Cider Press’ as primary facades. South of the Cider Press, the studio was constructed in the 1960s. It is a rectangular, flat-roofed, stuccoed building with a portal in the Spanish- Pueblo Revival Style. The studio building’s west façade was designated as primary. Its north elevation has one window, and there are no windows on the other elevations. The building faces west toward the New Mexico Supreme Court’s parking lot.

The studio building is the subject of this case. At its August 8, 2022, hearing in case 2022-005473-HDRB, the board approved the construction of a free-standing storage building on the lot’s southeast corner.

Now, the applicant proposes to:

1. Add a 180 square foot portal to the north courtyard elevation. It will be set back from the west primary façade by 10’-0” from the front of the portal. The portal will

have a round wood post and square beam construction, similar to the existing west elevation portal on the building's primary facade. All exposed wood will be American Chestnut Brown stain to match existing woodwork.

2. The applicant proposes to install an approximately 6' - 0" x 6' - 8" sliding French door with true divided lites. A proposed sliding barn-door "shutter" approximately 6' - 3" x 6' - 8" will slide over the glass door. It will be a turquoise blue with black iron hardware. The clad color of all windows will be Medium Bronze.

3. Remove the existing aluminum sliding window on the north elevation, fill in and stucco over, eliminating the opening.

4. Add a pair of wood clad true divided lite windows on the east elevation for egress. Add operable wood shutters to the east windows. The jamb will be turquoise blue with black iron hinges.

5. Install an approximately 32" x 42" decorative etched fixed glass in wood frame on the south elevation. Exposed frame will medium bronze color.

6. Add an exterior firebox and chimney to the south elevation. Height will be 3' taller than the existing height (10' - 6").

7. Refurbish the existing west portal's wood components and canales.

8. Re-stucco with cementitious proposed for the entire building. The color will match the El Rey "Adobe" color of the existing structures on site.

9. Add exterior lighting as follows:

a. Two pendants down lights under the proposed portal on the north elevation and two pendants to the existing portal on west elevation.

b. One scone fixture down light at the portal's northwest corner of the portal to light the courtyard.

10. Rooftop equipment includes a metal flue for the water heater to be painted black and screened by the parapet.

11. Install ground-mounted compressor for mini spit AC and heating to be screened with wood fencing.

12. Replace existing skylight with a low profile 2'-0" x 6'-0" skylight. Its highest point will sit below the existing parapet.

13. Yard walls, gates and landscaping that includes:

a. Repair existing rock planters in courtyard and on east side of the studio building.

b. Remove portion of the rock wall located south of the Studio that ends at the 129 East De Vargas northeast corner. The section to be removed will create a 7'-0" wide opening for access to the east garden and the approved new storage building.

c. Add a 4' wood slat gate to the south of interior rock wall for access to new storage building to be located at the southeast corner.

d. The opening will be fitted with two wood plank gates approximately 3' - 8" high x 3' - 4" each leaf wide. The gates will be finished with a stained American chestnut brown stain with black iron hardware.

e. Repair stone wall in center courtyard that connects the studio with the casita structure. It will be lowered approximately 20# and match the existing variegated shape and colored stone. Rocks for the wall will be harvested and stored for future repairs to other stone walls around the property. Mortar joints, type, texture and color, and style of rock wall repair shall match the “casual” river rock style of the existing.

f. No landscape lighting or structures are proposed.

No other changes to existing buildings and yard walls are proposed.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project with the following conditions: that the proposed portal addition on the north elevation be set back at least 10’ from the west primary façade per Section 14-5.2(D)(2)(d) regarding proximity of additions to primary façades; and that the proposed stained-glass window meet Section 14-5.2 (E) (1)(c) regarding divided lites, as it exceeds 30” in width. Otherwise, staff finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios asked if anything is happening on the west elevation.

Ms. Bordegaray said nothing, but the north façade is where the portal is proposed, which is less than 10 feet from mass.

APPLICANT PRESENTATION

Dale Zinn, PO Box 756 was sworn. He said the change to the portal is fine with the client and he will resubmit the drawings.

Member Bienvenu asked if he would provide divided lights on the stained-glass window.

Mr. Zinn said what is installed will meet criteria and is able to be cut down and will remain 30 x 30.

PUBLIC HEARING

There was no public comment.

BOARD DISCUSSION

MOTION: In 2022-005877-HDRB, 127 & 127 ½ E. DeVargas St., Member Bienvenu moved to adopt staff’s recommendations for approval with conditions the

proposed portal be set back at least 10 feet from the primary façade, and the proposed stained-glass window meet section 14-5.2 (E)1(C) on divided lights, and that the applicant resubmit revised plans to staff for approval. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Bienvenu and Guida voting in favor and none voting against.

2. **2022-005346-HDRB. 1204 Canyon Rd.** Downtown and Eastside Historic District. Gerald Valdez, agent for Fred and Josie Lucero, owners, requests approval for alterations to a previously approved case that include: window and door alterations, construct free-standing 540 sq. ft. garage to a height of 12' (maximum allowable 19'-2"), raise parapets, add yard and retaining walls to non-contributing building. Applicant requests exceptions to SFCC 14-5.2(E)(1)(c) for window panes exceeding 30" in dimension in a publicly visible area and 14-5.2(E)(2)(b) for windows located less than 3' from the corner of a facade. (Angela Schackel Bordegaray)

STAFF REPORT

1204 Canyon Road is a 1,024 square foot single-family residence designated non-contributing to the Downtown and Eastside Historic District. Built in 1964, it was a simple rectangle tract home with a pitched roof that sits at the corner of upper Canyon Road and Camino de Cruz Blanca. The board designated its historic status as non-contributing and approved an extensive remodel in 2020 (2020-001664-HDRB). The remodel resulted in in a Spanish-Pueblo Revival Style building.

The applicant has constructed the following changes that deviate from the approved case and now requests board approval of those changes:

West elevation

1. Shifted the portal to the north where the approved one car garage was sited.
2. Shifted the window approved for location at the south side of the front entry to under the portal next to the front door.

North elevation

3. Installed two smaller windows instead of one large window.
4. Installed 6' double door instead of 3' single door.

East elevation

5. Installed five new windows instead of the approved three windows.
6. Installed one 4'x 5' window in instead of one 8' x 4' window, one of which is stained glass that exceeds 30" in dimension without divided lites



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005877--HDRB

Project Description: 2022-005877-HDRB. 127 & 127 ½ E. DeVargas St. Contributing. Dale Zinn, agent for Betty Caldwell Irrevocable Trust, Owner, proposes to remodel a 612 sq.ft. studio by adding a 180 sq.ft. portal and a 15 sq.ft firebox, window, door, and yard wall alterations. (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)

Project Location(s): 127 E DE VARGAS ST
Santa Fe, NM 87501

Contacts:

Applicant: Dale F Zinn
P.O. Box 756
Santa Fe, NM 87504

dfzinn49@gmail.com

Property Owner: Betty Caldwell
129 E. Devargas Units 1, 2, and 3
Santa Fe, NM 87501

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray Senior Planner, Historic Preservation Division

Case # 2022-005877-HDRB

Address: 127 and 127 ½ E. DeVargas Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

☐ District Standards & yard wall
& fence standards.

☒ Historic Inventory Forms

☒ Zoning Review Sheet

APPLICANT SUBMITTALS

☒ Proposal Letter

☒ Site Plan/Floor Plan

☒ Elevations

☒ Photographs

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project with the following conditions: that the proposed portal addition on the north elevation be set back at least 10' from the west primary façade per Section 14-5.2(D)(2)(d) regarding proximity of additions to primary façades; and that the proposed stained-glass window meet Section 14-5.2 (E) (1)(c) regarding divided lites, as it exceeds 30" in width. Otherwise, staff finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

127 and 127 ½ E. DeVargas Street is a .25-acre property in the Downtown and Eastside Historic District with two main buildings, one known as the “Cider Press,” the other is a studio building used for storage, located south of the “Cider Press.” The “Cider Press Compound,” as the applicant refers to it, is a unique and curious group of historic structures sandwiched between two public institutional buildings. Its north primary façade is oriented toward the Santa Fe River. The lot and structures were originally part of a larger lot with a historically significant home to its south up a hill to East DeVargas Street. The river side has notable boxed windows, a remaining “Cider Press” sign, and faded murals that are familiar to generations of Santa Feans and visitors.

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Now, the applicant proposes to:

1. Add a 180 square foot portal to the north courtyard elevation. It will be set back from the west primary façade by 10’-0” from the front of the portal. The portal will have a round wood post and square beam construction, similar to the existing west elevation portal on the building’s primary facade. All exposed wood will be American Chestnut Brown stain to match existing woodwork.
2. The applicant proposes to install an approximately 6’ - 0” x 6’ - 8” sliding French door with true divided lites. A proposed sliding barn-door “shutter” approximately 6’ - 3” x 6’ - 8” will slide over the glass door. It will be a turquoise blue with black iron hardware. The clad color of all windows will be Medium Bronze.
3. Remove the existing aluminum sliding window on the north elevation, fill in and stucco over, eliminating the opening.
4. Add a pair of wood clad true divided lite windows on the east elevation for egress. Add operable wood shutters to the east windows. The jamb will be turquoise blue with black iron hinges.
5. Install an approximately 32” x 42” decorative etched fixed glass in wood frame on the south elevation. Exposed frame will medium bronze color.
6. Add an exterior firebox and chimney to the south elevation. Height will be 3’ taller than the existing height (10’- 6”).
7. Refurbish the existing west portal’s wood components and canales.

8. Re-stucco with cementitious proposed for the entire building. The color will match the El Rey "Adobe" color of the existing structures on site.
9. Add exterior lighting as follows:
 - a. Two pendants down lights under the proposed portal on the north elevation and two pendants to the existing portal on west elevation.
 - b. One sconce fixture down light at the portal's northwest corner of the portal to light the courtyard.
10. Rooftop equipment includes a metal flue for the water heater to be painted black and screened by the parapet.
11. Install ground-mounted compressor for mini spit AC and heating to be screened with wood fencing.
12. Replace existing skylight with a low profile 2'-0" x 6'-0" skylight. Its highest point will sit below the existing parapet.
13. Yard walls, gates and landscaping that includes:
 - a. Repair existing rock planters in courtyard and on east side of the studio building.
 - b. Remove portion of the rock wall located south of the Studio that ends at the 129 East De Vargas northeast corner. The section to be removed will create a 7'-0" wide opening for access to the east garden and the approved new storage building.
 - c. Add a 4' wood slat gate to the south of interior rock wall for access to new storage building to be located at the southeast corner.
 - d. The opening will be fitted with two wood plank gates approximately 3' - 8" high x 3' - 4" each leaf wide. The gates will be finished with a stained American chestnut brown stain with black iron hardware.
 - e. Repair stone wall in center courtyard that connects the studio with the casita structure. It will be lowered approximately 20" and match the existing variegated shape and colored stone. Rocks for the wall will be harvested and stored for future repairs to other stone walls around the property. Mortar joints, type, texture and color, and style of rock wall repair shall match the "casual" river rock style of the existing.
 - f. No landscape lighting or structures are proposed.

No other changes to existing buildings and yard walls are proposed.

RELEVANT CODE CITATIONS:

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Single panes of glass larger than thirty (30) inches in any dimension are not permitted.

14-5.2(E)((1)(c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section.

Revised September 15,2022

Angela Shackle Bordegaray, Senior Planner
City of Santa Fe
Building Historic Preservation Division

200 Lincoln Ave
Santa Fe, Nm 87501

Re: Proposed Remodeling and Portal Addition to Studio /Residence Building at 127 East de Vargas.
(Formerly 129 Agua Fria)

Dear Angela,

Please let this stand as the revised application letter for proposed remodeling and a portal addition to non-primary north Façade on the Contributing Studio Structure at the above address.

My firm has been retained to represent the Betty Caldwell Irrevocable Trust , in matters pertaining to the design and construction that is proposed for property at 127 East De Vargas .

This application pertains solely to the remodeling and additions to the existing Studio/Guest House building which was determined to be a contributing structure with the West façade as Primary. The proposed work is described as follows:

The Remodeling proposed is as follows:

- The existing contributing 612 s.f. cmu structure will maintain its primary west façade complete. The wood components will be refurbished existing on portal and canales is proposed to extend the life of those elements. Stain Color refresh will be American Chestnut as per color chart.
- A complete exterior insulation and cement stucco system with mineral color coat over lath is proposed for the entire building.
The color wil match the El Rey “Adobe” color of the existing structures on site as a per color chart submitted herein.
- An exit window 2 each 24” x 48” sashes made in clad wood framed with simulated true divided lites is proposed on the non-primary east wall . This window wil be fitted with operable security shutters as described below.
- An approximately 32” x 42 “ Owner Furnished decorative etched fixed glass in wood frame (see Photos in this report) will be installed on the south elevation. Exposed frame will medium bronze color.

- An approximate 6-0" x 6-8" Clad wood framed sliding glass door with simulated true divided lites is proposed for the non-primary south elevation of the structure.

Clad Color Medium Bronze throughout.

- A pair of wood operable shutters is proposed for the east side exit window for security purposes. The shutters and jamb will be Turquoise Blue as per color chart with black iron hinges.
- A sliding barn-door " shutter" approximately 6-3" x 6-8" is proposed under the portal to add security to the sliding door areas when the building is not occupied. It will be a turquoise blue with black iron hardware.

The footprint of the contributing structure will be expanded by approximately 180 s.f. as follows:

- A fireplace firebox will extend out from the north elevation 15 s.f. as shown on the floor plan.
- A courtyard north portal is proposed that will be set back from the west primary façade by the required 10-0" and will be approximately 16 feet long by 6-0 wide. This height of the portal will be lower than the existing contributing portal but will use complimentary wood round post and square beam construction . All exposed wood will be a matching American chestnut brown as depicted on the photos of the existing wood and in the color chart.
- The portal terrace walking surface of flagstone will extend beyond the roof covering by 10 feet on the west and 4 feet on the east.
- Colors are as shown in the submitted photo color key.
- Lighting on the outside of the structure shall be limited as follows:
 - two decorative pendants down lights under the existing portal
 - two decorative pendant downlights under the proposed new portal
 - one sconce fixture down light at the northwest corner of the building to light the courtyard.
 - one sconce fixture down light on south side to secure the parking area.

Light fixtures shall be submitted to staff for approval.
- No roof top exposed mechanical equipment is proposed other than the code required metal flue for the water heater and the stucco chimney with metal flue for the fireplace. Those items will be painted flat black. A compressor for mini spit AC and heating is proposed for the south "

trash enclosure area . It wil be screened with a low 3-6" coyote fencing . Hoses if needed will be shielded on south wall with housing that is painted to match the stucco.

- A low profile 2-0" x 6-0" skylight is proposed to replace the existing deteriorated skylight . The highest portion of the skylight falls below the existing parapet and is not visible to the public for any public way.

Landscape features shall include the following :

Please note:

The finding of the H board in July ,2022 was that the internal stone walls were not historic.

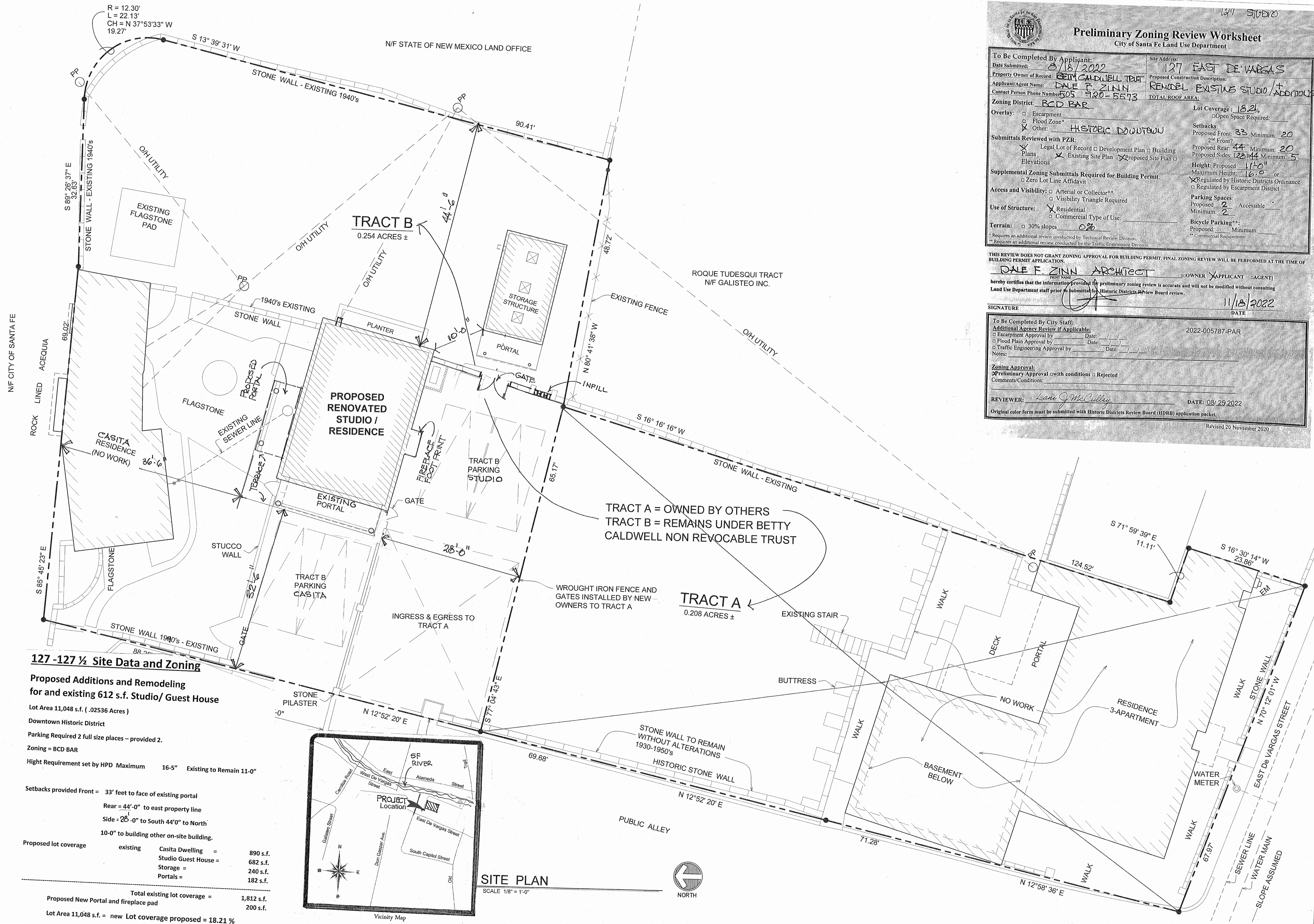
- Repair of existing rock planters in courtyard and on east side of the studio building.
- In order to have enhanced access to the approved east garden storage building , the Trustees propose to remove portion of the rock wall that is located south of the Studio and ends at the 129 East DE Vargas northeast corner. The section to be removed will create a 7-0" wide opening for access to the east garden and the storage building.

The opening wil be fitted with two wood plank gates approximately 3-8"high x 3-4"each leaf wide. The gates wil be finished with a stained American chestnut brown stain with black iron hardware.

- The stone wall that faces the Courtyard and connects the studio with the Historic Casita structure is constructed of variegated shape and colored stone. It is deteriorated and needs repair. In order to better accommodate the visual connection of the Courtyard and the East Garden areas the Trustees are proposing to make substantial repairs to the wall after lowering the rock wall by approximately 20" . Rocks for the wall will be harvested and stored for future repairs to other stone walls around the property. Mortar joints type texture and color plus style of rock wall repair shall match the "casual" river rock style of the existing.
- No landscape lighting or structures are proposed.

Sincerely Yours

Dale F Zinn Dale F Zinn and Associates Architects NM # 940
For Betty Caldwell Irrevocable trust, Owner.



Preliminary Zoning Review Worksheet
City of Santa Fe Land Use Department

To Be Completed By Applicant: DALE F. ZINN ARCHITECT Site Address: 127 EAST DE VARGAS

Date Submitted: 8/18/2022 Proposed Construction Description: REMODEL EXISTING STUDIO / ADDITIONS

Property Owner of Record: BETTY CALDWELL TRST TOTAL ROOF AREA: _____

Applicant/Agent Name: DALE F. ZINN

Contact Person Phone Number: 505 920-5573

Zoning District: BCD BAR Lot Coverage: 18.2%

Overlay: ☐ Escarpment ☐ Flood Zone ☒ Other: HISTORIC DOWNTOWN ☐ Open Space Required: _____

Setbacks: Proposed Front: 33 Minimum: 20
2nd Front: _____
Proposed Rear: 44 Minimum: 20
Proposed Sides: 25 Minimum: 5

Supplemental Zoning Submittals Required for Building Permit:
☒ Legal Lot of Record ☐ Development Plan ☐ Building Plans ☒ Existing Site Plan ☒ Proposed Site Plan ☐ Elevations
☐ Zero Lot Line Affidavit

Access and Visibility: ☐ Arterial or Collector** ☐ Visibility Triangle Required
Use of Structure: ☒ Residential ☐ Commercial Type of Use: _____

Terrain: ☐ 30% slopes ☒ 0% ☐ Other: _____

Height: Proposed 11'-0" or Maximum Height: 16'-0" or Regulated by Historic Districts Ordinance ☐ Regulated by Escarpment District

Parking Spaces: Proposed 2 Accessible Minimum: 2

Bicycle Parking: Proposed _____ Minimum: _____

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

DALE F. ZINN ARCHITECT (OWNER) (APPLICANT) (AGENT)

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE: _____ DATE: 11/18/2022

To Be Completed By City Staff:
Additional Agency Review if Applicable: _____ 2022-005787-PAR

☐ Escarpment Approval by _____ Date: _____
☐ Flood Plain Approval by _____ Date: _____
☐ Traffic Engineering Approval by _____ Date: _____

Notes: _____

Zoning Approval:
☒ Preliminary Approval with conditions ☐ Rejected
Comments/Conditions: _____

REVIEWER: Lane McCullay DATE: 08/25/2022

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Revised 20 November 2020

SITE PLAN

STUDIO / RESIDENCE

RESIDENCE
127 EAST DE VARGAS
SANTA FE COUNTY
SANTA FE, NEW MEXICO

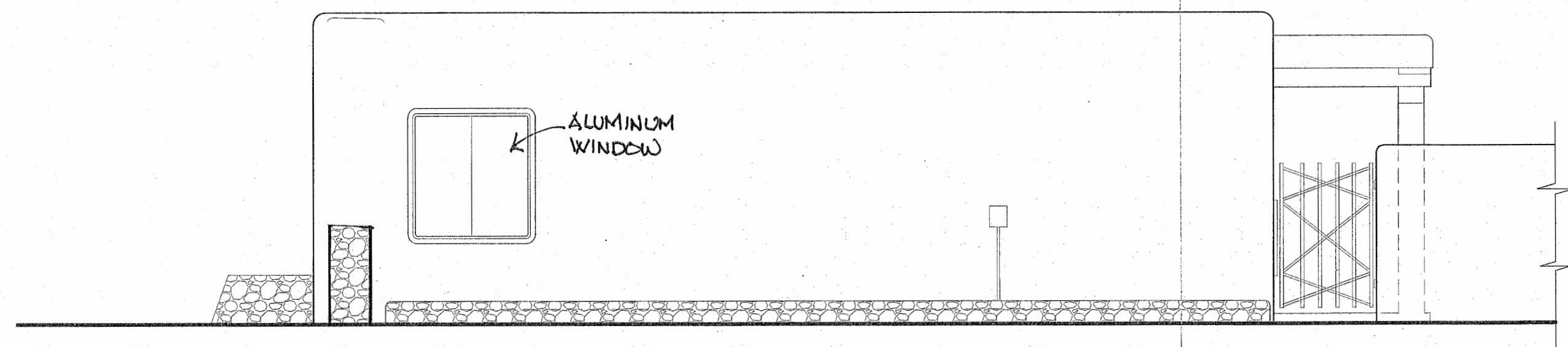
Dale F. Zinn and Associates, Architects
P.O. Box 756
Santa Fe, New Mexico 87504
(505) 982-8690
DFZinn@aol.com

DATE: 08/24/2022
DRAWN BY: LA
CHECKED: DZ
127 E DeVargas-01.DWG

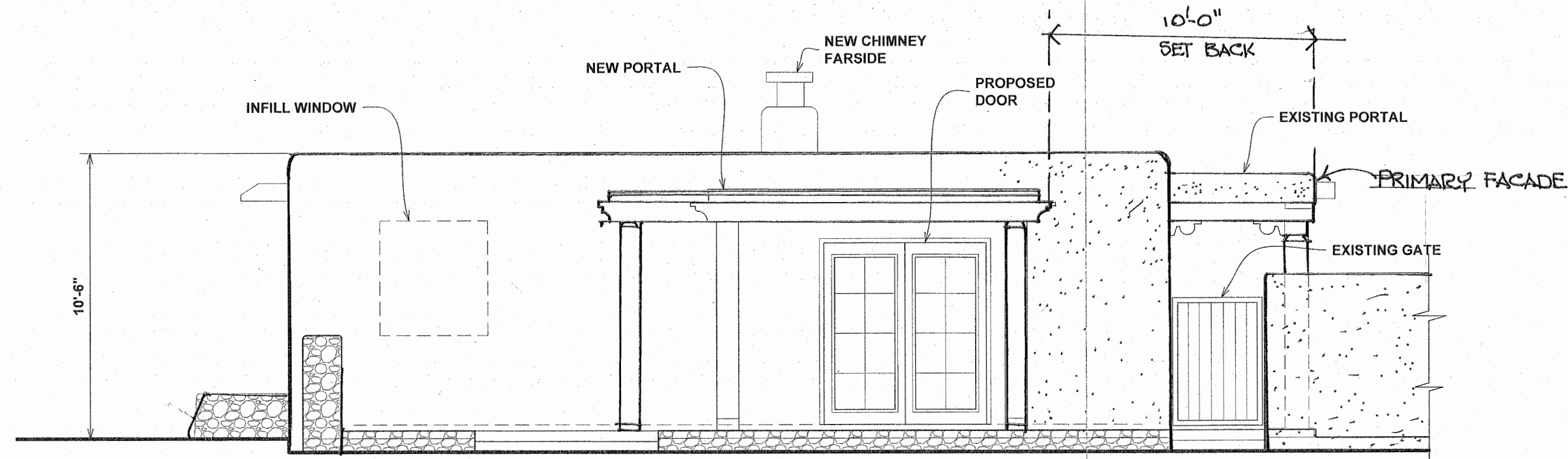
REVISIONS:

ID	DESC	DATE

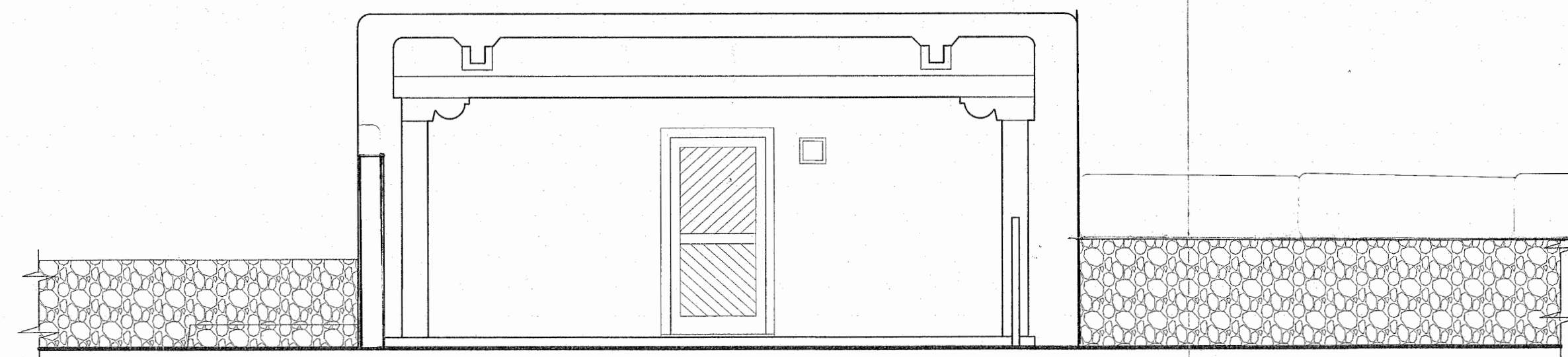
SHEET
SR1



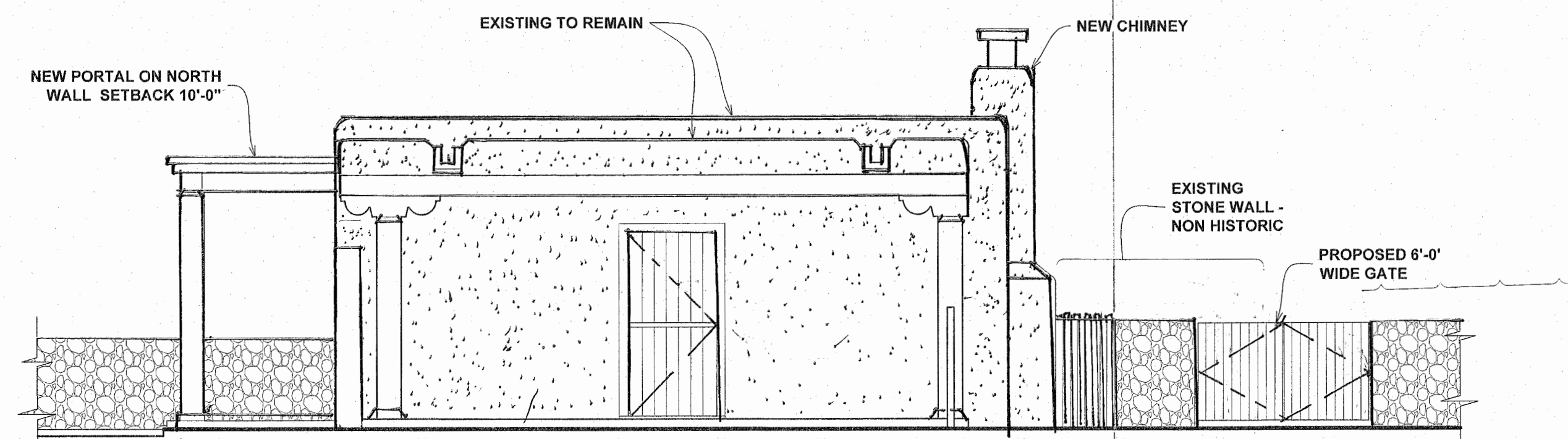
2b NORTH ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



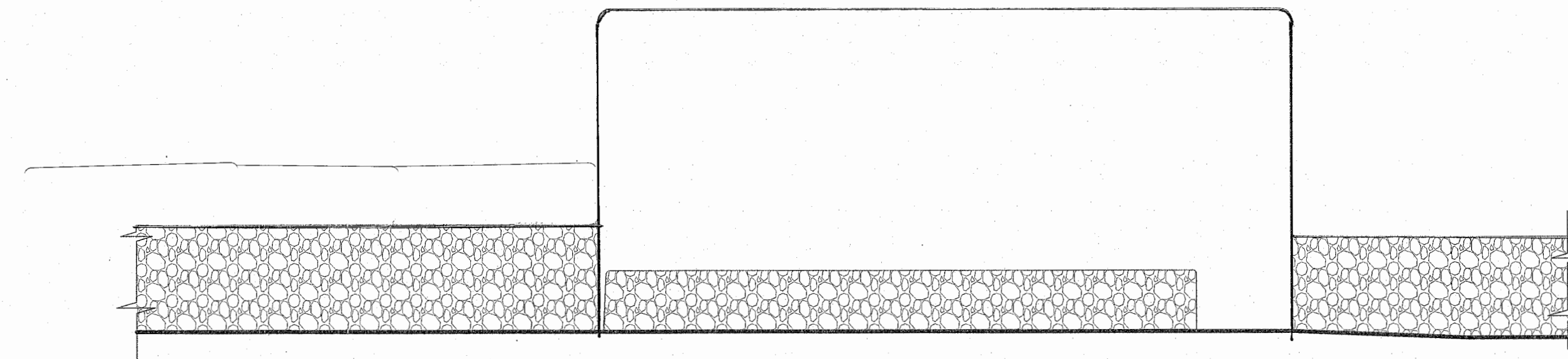
2a NORTH ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



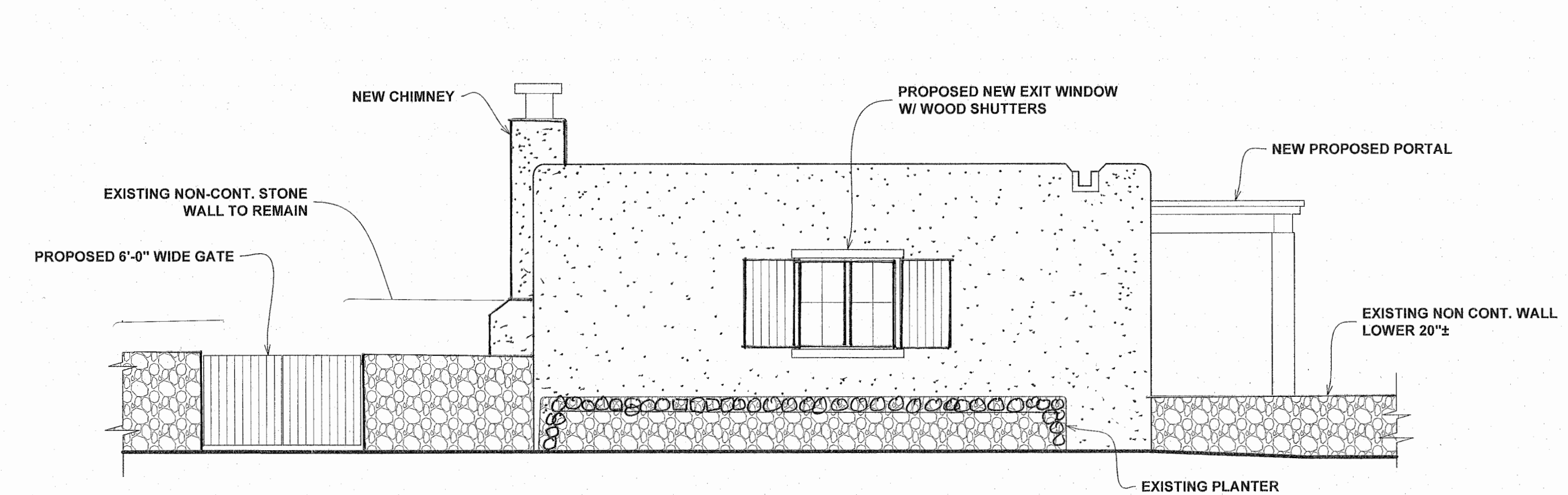
1b WEST ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



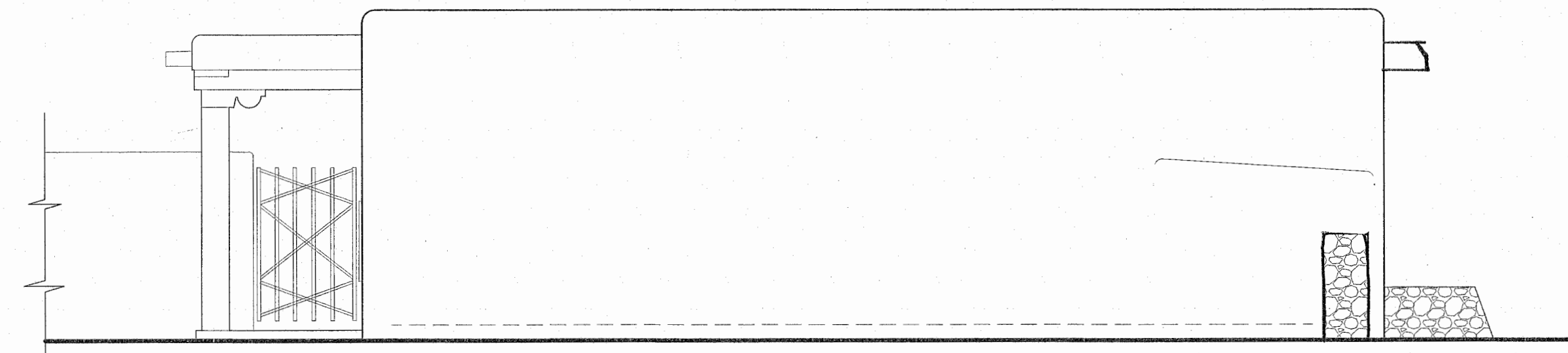
1a WEST ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



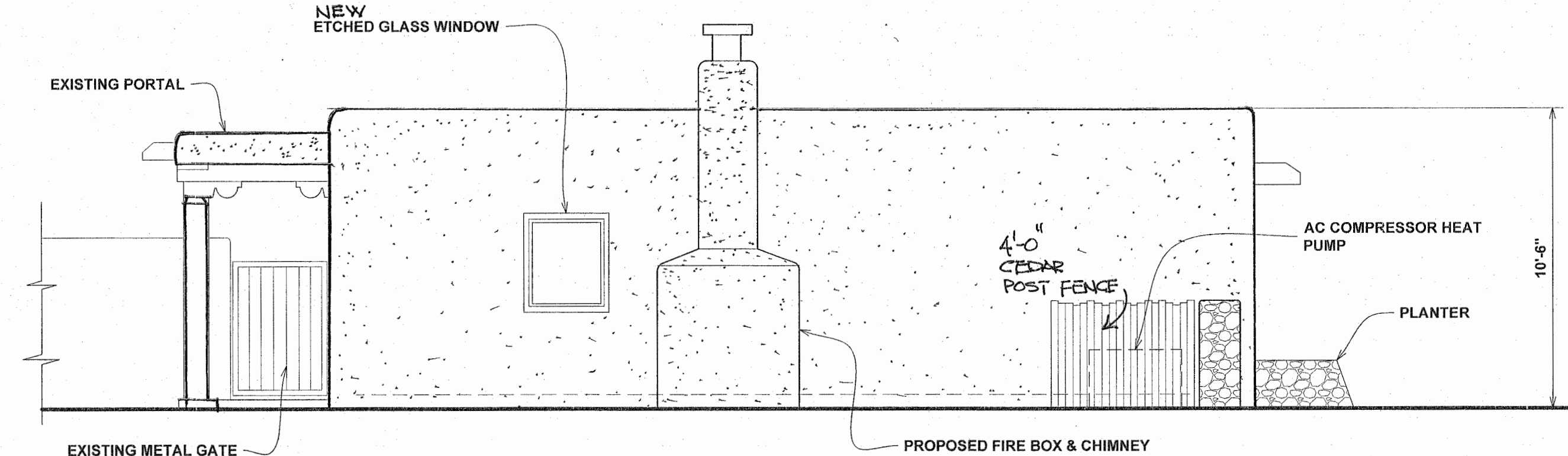
3b EAST ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



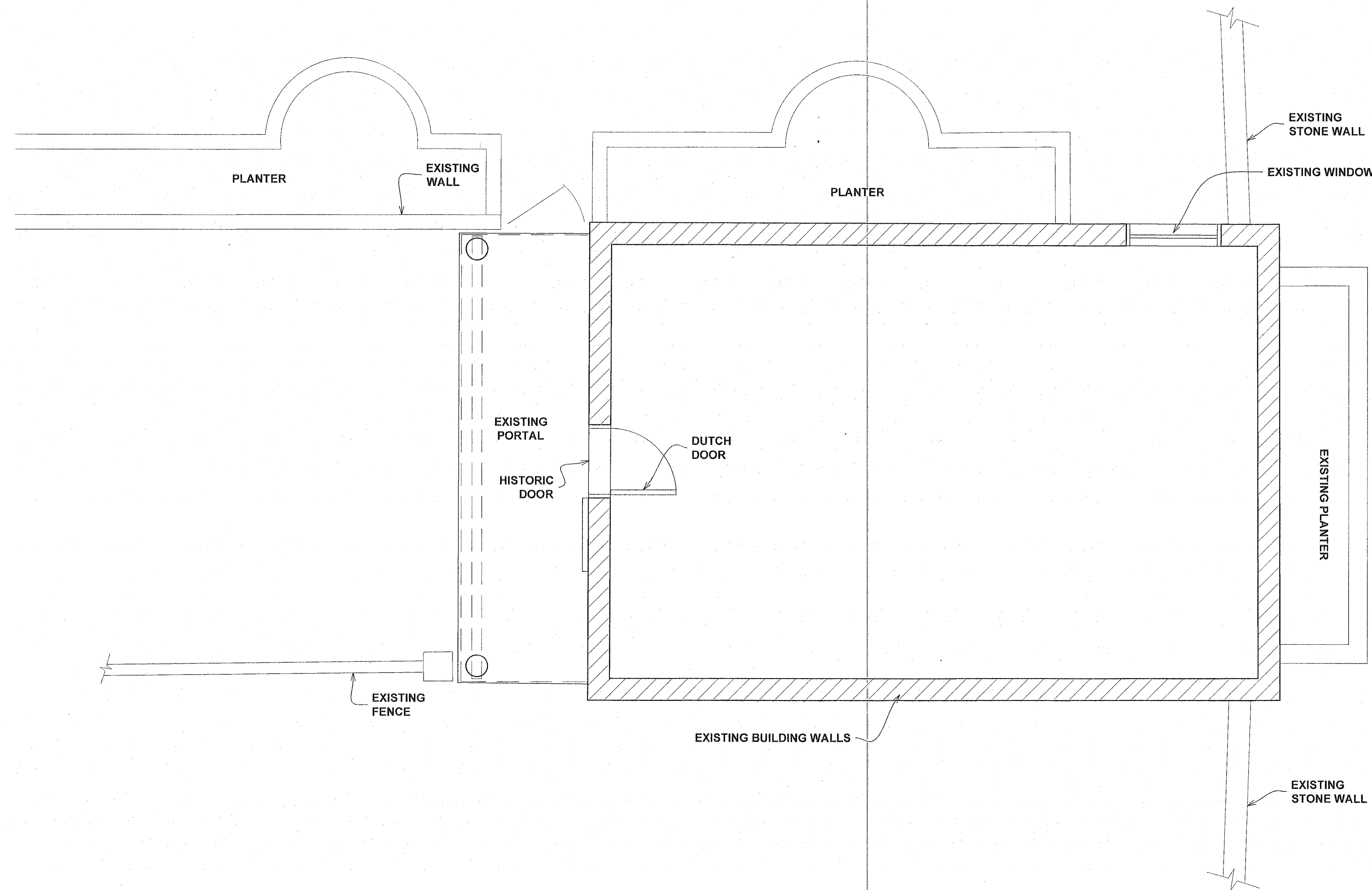
3a EAST ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



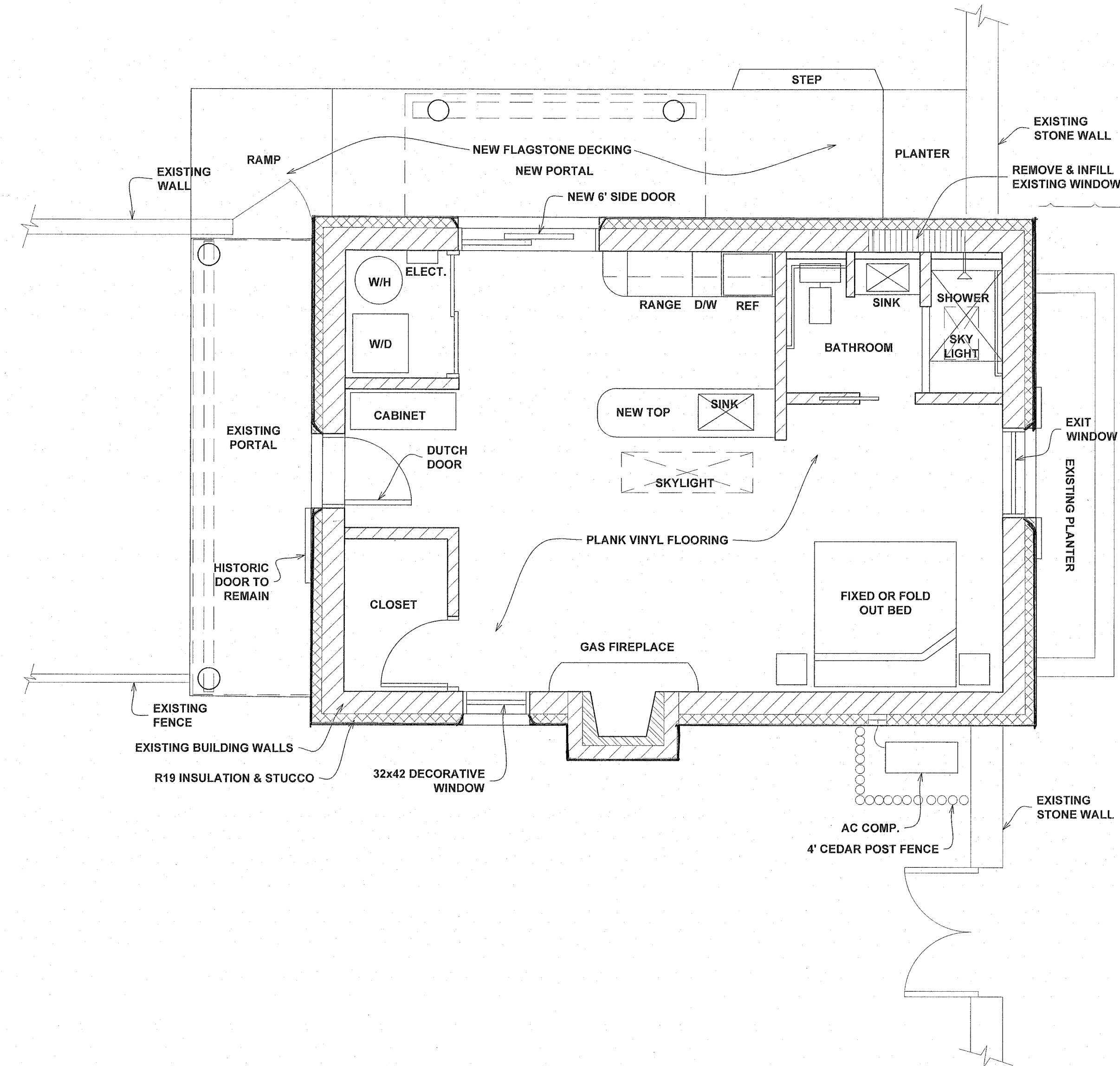
4b SOUTH ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



4a SOUTH ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



2 FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

Dale F. Zinn and Associates, Architects

P.O. Box 756
Santa Fe, New Mexico 87504
(505) 982-8690
DFZinn@aol.com

STUDIO / RESIDENCE

RESIDENCE
127 EAST DeVARGAS
SANTA FE COUNTY
SANTA FE, NEW MEXICO

FLOOR PLAN
PROPOSED & EXISTING

DATE: 08/24/2022
DRAWN BY: LA
CHECKED: DZ
127 E DeVARGAS-01.DWG

REVISIONS:	DATE
ID	DESC.

SHEET

SR3

From: [Dale Zinn](#)
To: [BORDEGARAY, ANGELA S.](#)
Subject: Decorative glass window at 127 east de Vargas south side
Date: Monday, October 3, 2022 7:55:57 PM

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Angela..attached is a better sketch of the intended installation of the decorative window glass...we will put the glass..into a 24 x30 frame ...see attached

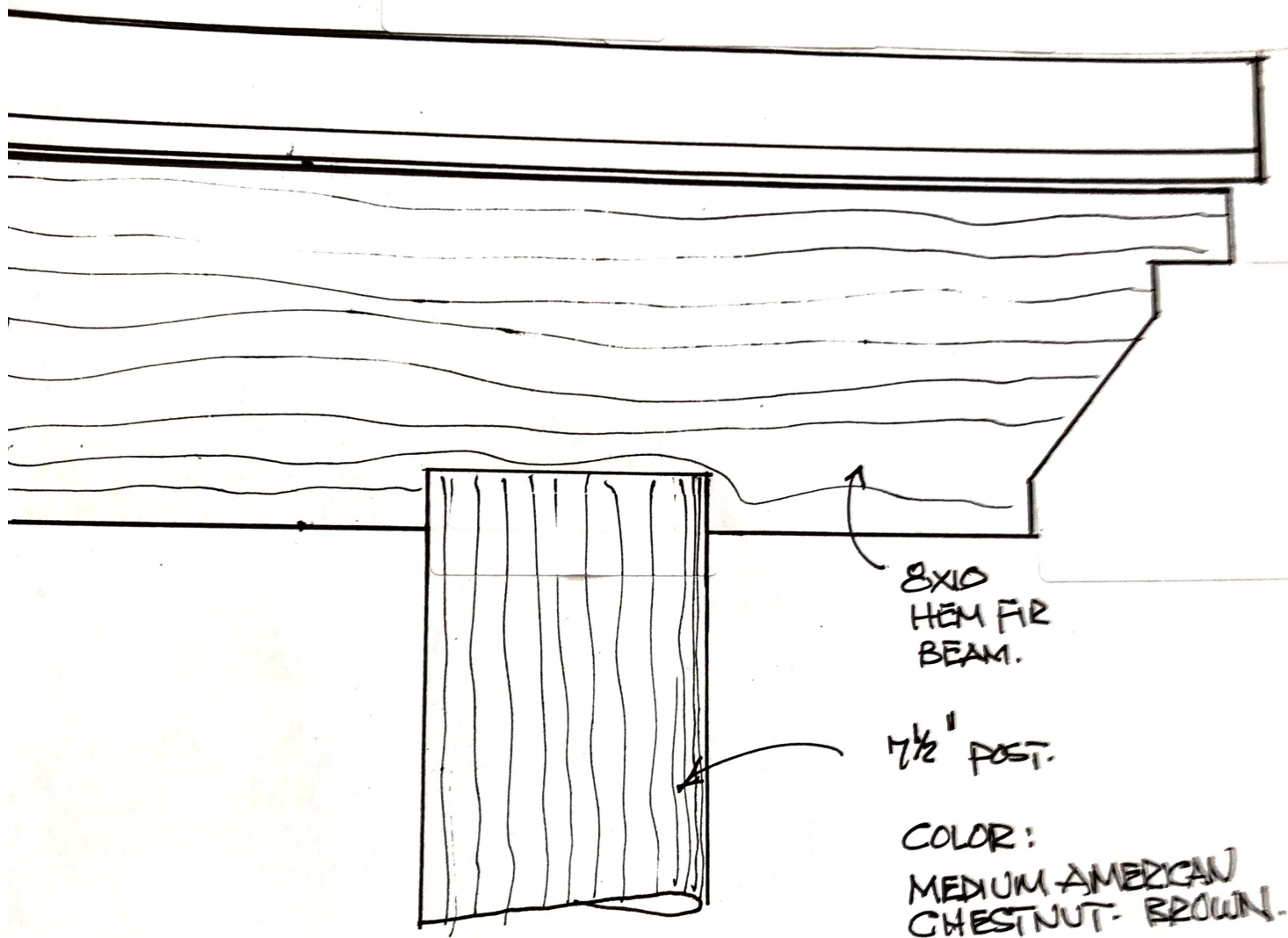


DFZ

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"Develop your own compass, and trust it. Take risks, dare to fail, remember the first person through the wall always gets hurt" . Aaron Sorkin

Dale F Zinn Architect
PO Box 756
Santa Fe, NM 87504
505-982-8690

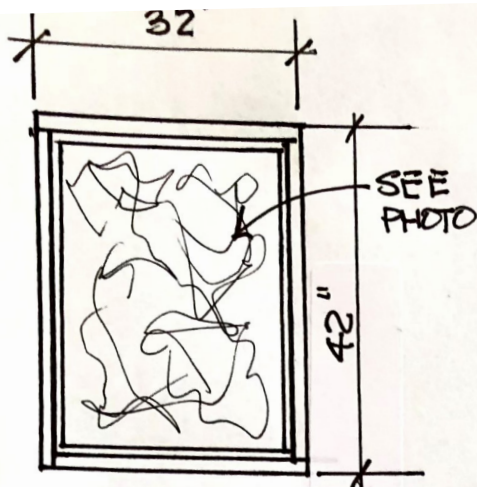


WOOD POST AND CORBEL DETAIL

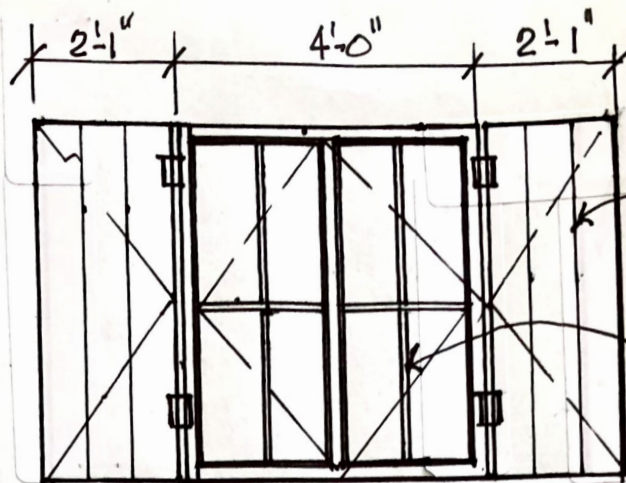
127 E. DE VARGAS NORTH PORTAL

SCALE 3" = 1'0"

②



SOUTH WINDOW

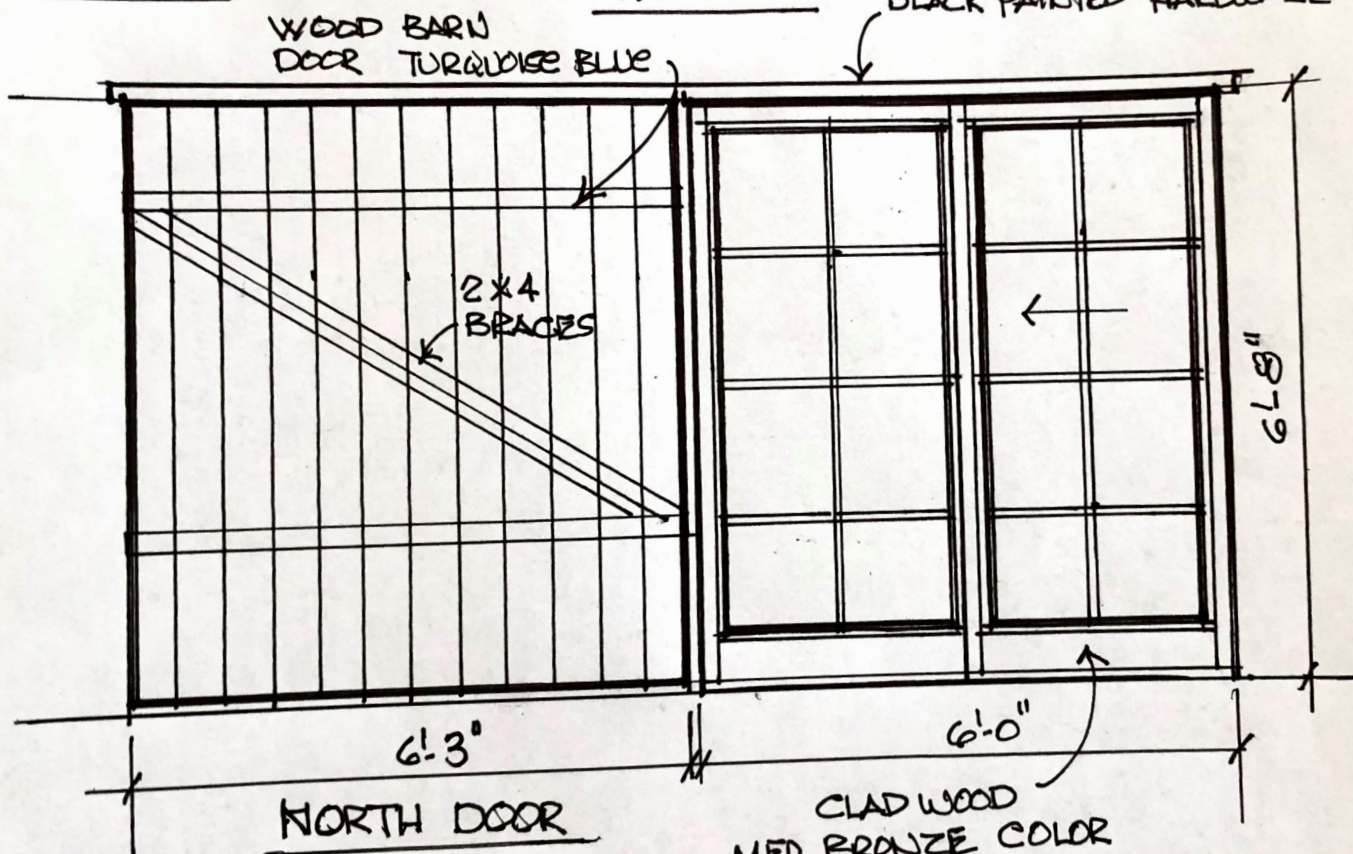


EAST EXIT WINDOW

WOOD SHUTTERS
TURQUOISE
BLUE

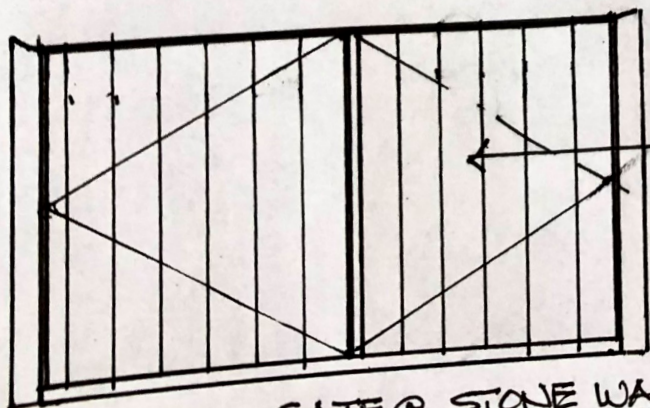
CLAD WOOD
MED. BRONZE
COLOR W
S.T.D.L.

BLACK PAINTED HARDWARE



NORTH DOOR

CLAD WOOD
MED. BRONZE COLOR
W / S.T.D.L.



GATE @ STONE WALL

WOOD SLAT
GATE
6'-0" X 3'-8"

STAINED CHESTNUT BROWN
AMERICAN

DETAILS

$\frac{1}{2}" = 1'-0"$

①

127 East De Vargas Studio /Guest House Remodel

COLOR CHART



Stucco = El Rey Brand “ Adobe color”

Paint Dunn Edwards – Special Turquoise Blue
Matching other buildings



(sample Shown Here)

Stain – American Chestnut Brown (New and Existing)



BEHR 1 qt.
#TIS-362
American
Chestnut Satin

Windows

Medium Bronze cladding



Alita Collection Aged Black
9" High Wall Sconce - Style #
H7965



+ ZOOM IN

– ZOOM OUT

↺ ST

