

City of Santa Fe, New Mexico

memo

DATE: September 22, 2026

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, AICP, Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director **MRM**

FROM: Lauren A. Vagts, Senior Planner, Historic Preservation Division *LAV*

2026-013079-HDRB. 405 A & B Juanita St. Westside-Guadalupe Historic District. Non-contributing. Antoine El-Khoury, agent for Gene Valencia, Owner, request status review with primary façade(s) designation, if applicable, for two residential structures.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

☐ District Standards & yard wall
& fence standards.

☒ Historic Inventory Form

☐ Zoning Review Sheet

☐ Other:

APPLICANT SUBMITTALS

☒ Proposal Letter

☒ Site Plan/Floor Plan

☐ Elevations

☒ Photographs

☒ Other: (September 2, 2026 HCPI)

STAFF RECOMMENDATION:

Staff recommends the historic status of structure A remain as Non-Contributing, and structure B upgraded to Contributing with the south and east elevations as the primary façades, per 14-4.6(C)(2) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

District Standards:

14-4.6(G)(5) Westside-Guadalupe Historic District Design Standards

Sample motions:

- a. In case 2026-013079-HDRB, for 405 Juanita Street, Unit A, retain the status as Non-Contributing.
- b. In case 2026-013079-HDRB, 405 Juanita, Unit B, upgrade the status as Contributing and designate the south and east elevations (GH2 and GH3 on facade diagram) as primary façade(s).

BACKGROUND & SUMMARY:

Streetscape:

Two single-family dwellings, 405 Juanita Street Units A and B (Figure 1), are located in the Westside-Guadalupe Historic District on the east side of Juanita Street between Agua Fria Street to the north and West Manhattan Avenue to the south. Juanita street is lined with single-story residential stucco-clad, flat and low-pitch roof buildings set back from the street behind a mix of low stucco yardwalls and coyote fencing along the east side, and a single-story industrial building and Westminster Presbyterian Church to the west separated by a concrete parking lot.



Figure 1. Aerial view of parcel location, 405 Juanita Street, Units A and B. Source: Santa Fe County Tax Parcel Viewer, <https://sfcomaps.santafecountynm.gov>.

Site Description:

While Unit A was erected in the early-1970s, Unit B dates between 1933 and 1948, according to the September 2, 2026, Historic Cultural Properties Inventory (HCPI). Units A and B are connected by a partially enclosed wooden storage space erected by 1975. The horizontal rectangular lot at 405 Juanita Street historically belonged to the Contributing Ludi-Roybal Residence (c.1910s) at 826 Agua Fria Street north of Unit B. Unit B is located at the east side of the lot and shares a common historic wall with an outbuilding at the south end of the 824 Agua Fria Street lot along the east side of each property lot separated by the east-west bound property line.

According to the June 15, 2026, HCPI submitted by architectural historian John W. Murphey, 405 Juanita Street and the south-neighboring lot, 407 Juanita Street, were originally part of a larger tract of land associated with the Contributing residence at 826 Agua Fria Street. Prior to municipal sewer service arriving in the 1920s, the area developed as an agricultural landscape (Figure 2). By the 1930s, subdivisions show the area evolving into more residential uses with new street developments, including Juanita Street (Figure 3).



Figure 2. 1912 King's Map with lots 29 and 30 circled as the original lot of land prior to residential development. Source: N.L. King, "Official Map of Santa Fe," 1912.

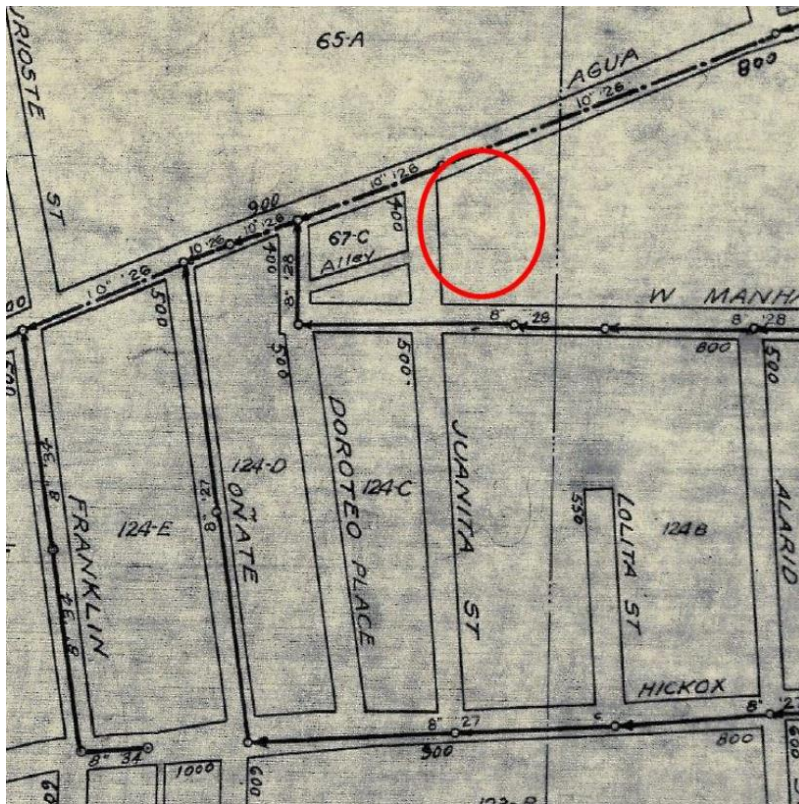


Figure 3. 1933 map showing side streets and lot boundaries, including Juanita Street. Source: W.G. Turley, “1933 Map, City of Santa Fe, Santa Fe County, New Mexico, Showing Block and Housing Numbering, Street and Road Layout,” from September 2, 2026, HCPI, John W. Murphy.

Unit A

The west elevation of Unit A (Figure 4, right) faces Juanita Street behind a gravel drive and non-historic stuccoed concrete-block wall. The single-story, side-gable residential building is rectangular in plan two bays wide by two bays deep, clad in a cementitious stucco, and a corrugated metal roof with a slight eave overhang. The left bay of the west elevation has a vinyl sliding window and the right bay, historically a carport enclosed after 1985, has a single non-historic entrance with an exterior metal screened door to the left and a large rectangular glazed window to the right. Below the gable is a small historic fixed metal ventilation window.

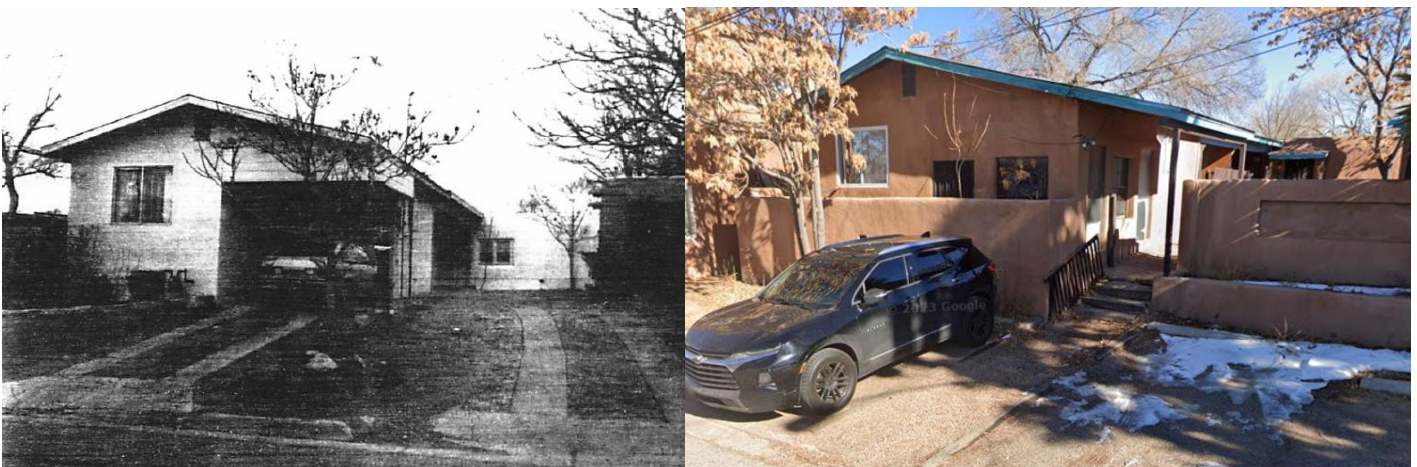


Figure 4. 405 Juanita Street, Units A and B, west elevation. Source: HCPI August 1985 (left); Google Earth December 2023 (right).

Non-historic shallow wooded steps infilled with gravel lead along a shallow yardwall extending around the façade to the south elevation into a courtyard between 405 and 407 Juanita Street. A wooden-frame portal overhangs the left bay with an eight-over-eight double-hung window at the center flanked by two large horizontal fixed single-pane windows. The right bay is slightly recessed from the left with a double single-pane window above enclosed mechanical equipment clad in stucco.

The east elevation is partially covered by a carport addition installed before 1975 connecting Units A and B. The wooden structure is separated with a wooden partition wall with a wooden fence and gate enclosure, and a gabled roof with corrugated metal roofing supported at each end by large wooden columns and corbels. The north elevation has a large double single-pane window at the center of the right bay.

While the original building dates prior to 1975 based off of historical mapping and records, the enclosure of the carport after 1985 has significantly altered the south and west elevations and historic footprint. Additionally, the installation of the street-facing yardwall and entrance has altered the historic relation to the streetscape. Therefore, staff recommends 405 Juanita Street, Unit A, maintain its Non-Contributing status.

Unit B

Unit B (Figure 5) is an adobe structure two bays wide by one bay deep clad in cementitious stucco with a rectangular footprint and flat roofline. The left side of the west elevation is covered by a wooden portico with a corrugated roof above a cement slab entrance. The entrance has a non-historic metal-framed four-over-four glass pane exterior door with a two-over-four glass block window to the left and wall sconce above. The right bay has a recessed three-over-twelve glass block window.



Figure 5. 405 Juanita Street, Unit B, west elevation. Source: September 2, 2026, HCPI, John W. Murphy, photographed by Jim Rodman May 19, 2026.

The south elevation has a single central double-hung window within a recessed opening that appears to have been a larger opening, likely a door. The east elevation has a historic four-over-four double-hung window at the center of the left bay and a historic wood-framed window. A shallow metal roof overhang covers wooden rafters with a clear break in rooflines at the north wall shared with the outbuilding at 824 Agua Fria Street.

While the street-facing west elevation has been altered from its original historic appearance, the south and east elevations retain their historic openings (although slightly altered on the south elevation), the building retains its historic footprint, its physical and cultural association with the adjacent Contributing property at 824 Agua Fria, and meets the fifty-year requirement. Therefore, staff recommends 405 Juanita Street, Unit B, be upgraded to a Contributing status with primary façades designated as the south and east elevations.

PREVIOUS CASE SUMMARIES:

ARC: n/a

HDRB: n/a

ADMINISTRATIVE: n/a

APPLICANT'S REQUEST:

The applicant requests:

- 1) Status Review with primary façade designation, if applicable, for two (2) residential structures.

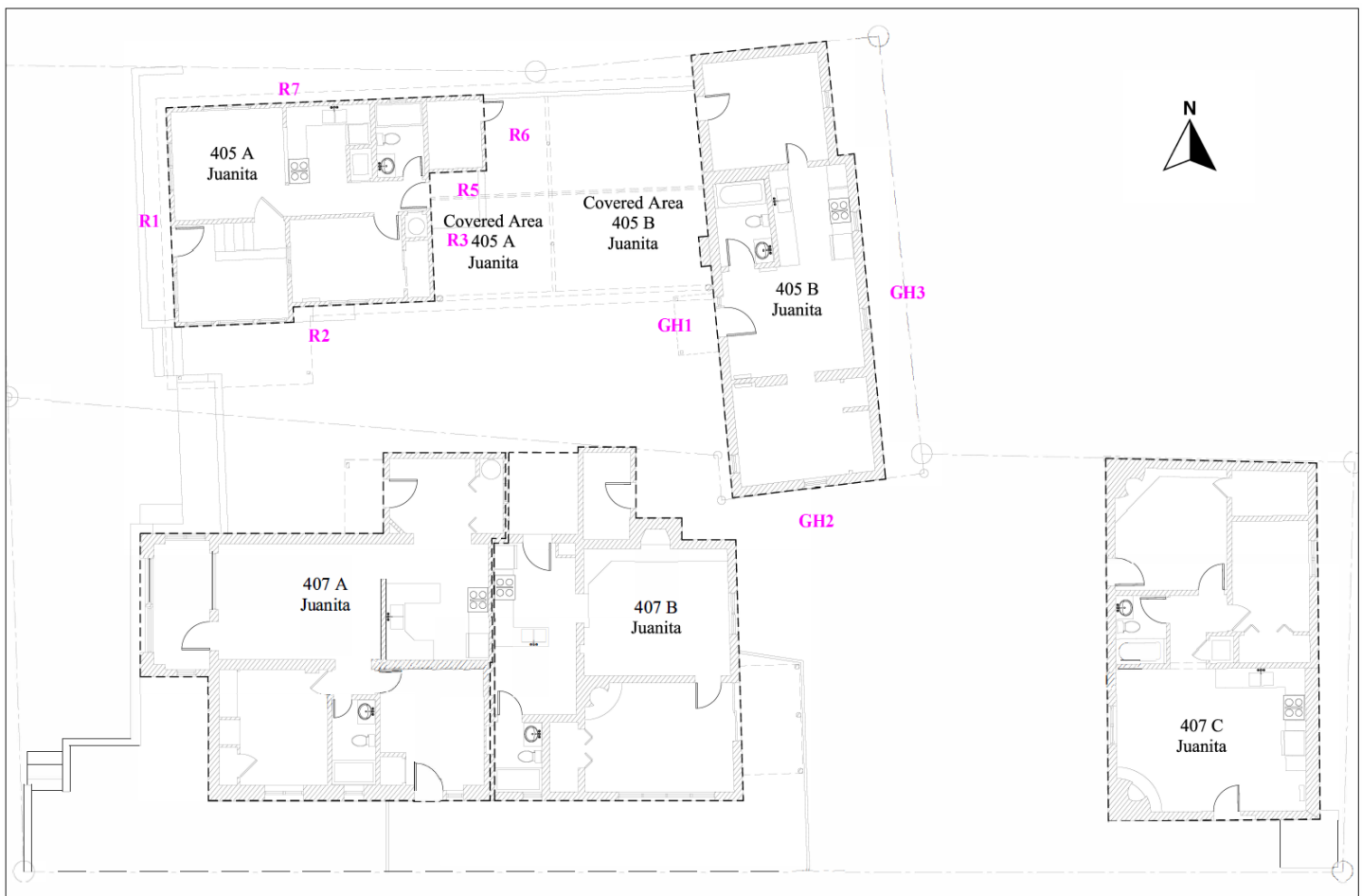


Figure 6. Site map with facade designation. Note: 405 B does not have facade number for the north elevation as it is a shared wall with the neighboring property, 824 Agua Fria Street.

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

1. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance in order to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

B. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or to designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

III. Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

- a. An application for construction or demolition as set forth in Section 14-5.2 as follows:

1. Prior to the application being placed on a board agenda or prior to issuance of a construction permit, if Board approval is not required, staff shall determine whether the board should review the status of the structure. Staff's determination shall be made within thirty days of submitting the application. If staff's determination is not completed within thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based upon the status of the structure following the determination of status.
 2. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based upon the status of the structure following the determination of status.
- b. Request from the property owner;
 - c. A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

IV. Notice of HDRB's Review of Status

- a. Unless the review is requested by the property owner, staff shall mail notice to the property owner of the subject property no less than 15 days prior to the HDRB's review of a change in or designation of status.
- b. In addition, staff shall send notice, by first class mail, to all property owners within one hundred (100) feet of the subject property no less than fifteen days prior to the board's review of a change in or designation of status if the review may result in the lowering of the structure's status. Staff shall retain an affidavit of mailing.
- c. With the consent of the property owner, the city shall have posted on the property a poster obtained from the planning land use department. Otherwise, the city shall post the poster at the nearest place available to the city. Such poster shall be securely posted, prominently displayed, visible from a public street, at least fourteen days prior to the scheduled board hearing. The posting shall indicate the nature of the application, identification of the property affected, and the time, date, and place of the hearing. The poster shall be removed within thirty days of final action. Failure to do so may result in the city removing the sign at the applicant's expense. A civil fee of fifty dollars (\$50.00) will be charged.

NONCONTRIBUTING STRUCTURE

A structure, located in a historic district, that is less than 50 years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

CONTRIBUTING STRUCTURE

A structure, located in a historic district, approximately 50 years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

SIGNIFICANT STRUCTURE

A structure located in a historic district that is approximately 50 years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant for its association with events or persons that are important on a local, regional, national or global level; or if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

PRIMARY FACADE

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

G. Additional District-Specific Design Standards

2. Westside-Guadalupe Historic District

1. District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished.

- a. Slump block, stucco, brick, or stone shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- b. The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones, and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- c. Roof form, slope, and shape. It is intended that the buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall dominated" solutions and are allowed.

The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;

- d. The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
 - 1. raising the parapet;
 - 2. setting back from the edge of the roof;
 - 3. framing the collector with wood;
 - 4. in the case of pitched roofs, by integrating the collector into the pitch;
 - 5. in the case of ground solar collectors by a wall or vegetation;
 - 6. in the case of wall collectors, by enclosing or other walls;
 - 7. other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- e. Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obstructive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;
- f. Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;
- g. Greenhouses;
 - h. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends, and greenhouses made from enclosed porches or portals maintain the shape of the porch or portal;
 - i. Porches and portales are encouraged;
 - j. When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

II. Walls; Fences; Solar Collectors: Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building

permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division staff shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30, Ord. No. 2020-22