

# City of Santa Fe, New Mexico

# memo

**DATE:** September 22, 2026

**TO:** Historic Districts Review Board Members

**VIA:** Heather Lamboy, AICP, Planning & Land Use Department Director  
Maggie Moore, Assistant Land Use Director **MRM**

**FROM:** Lauren A. Vagts, Senior Planner, Historic Preservation Division *LAV*

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**2026-013080-HDRB. 407 & 407 ½ Juanita St. Westside-Guadalupe Historic District. Non-contributing.** Antoine El-Khoury, agent for Gene Valencia, Owner, request status review with primary façade(s) designation, if applicable, for two residential structures.

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

☐ District Standards & yard wall  
& fence standards.

☒ Historic Inventory Form

☐ Zoning Review Sheet

☐ Other:

**APPLICANT SUBMITTALS**

☒ Proposal Letter

☒ Site Plan/Floor Plan

☐ Elevations

☒ Photographs

☒ Other: (September 2, 2026 HCPI)

### **STAFF RECOMMENDATION:**

Staff recommends the historic status of structure 407 Juanita Street remain as Non-Contributing, and structure 407 ½ Juanita Street upgraded to Contributing with the north, east, and west elevations as the primary façades, per 14-4.6(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

District Standards:

14-4.6(G)(5) Westside-Guadalupe Historic District Design Standards

### **Sample motions:**

- a. In case 2026-013079-HDRB, for 407 Juanita Street, retain the historic status as Non-Contributing.
- b. In case 2026-013079-HDRB, for 407 ½ upgrade the historic status to contributing and designate facades (GH1, GH2, and GH3 on facade diagram) as primary façade(s).

### **BACKGROUND & SUMMARY:**

#### **Streetscape:**

407 and 407 ½ Juanita Street (Figure 1) are located in the Westside-Guadalupe Historic District on the east side of Juanita Street between Agua Fria Street to the north and West Manhattan Avenue to the south. Juanita Street is lined with single-story residential buildings. The buildings are clad in stucco, with a mix of flat and low-pitch roofs set back from the street behind a mix of low stucco yardwalls and coyote fencing along the east side, and a single-story industrial building and Westminster Presbyterian Church to the west separated by a concrete parking lot.

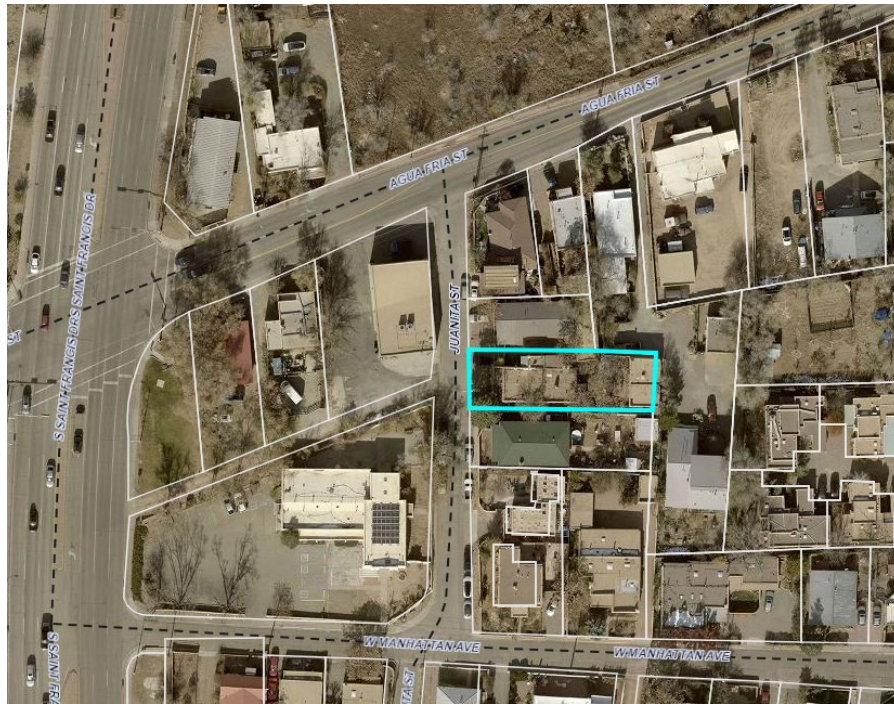


Figure 1. Aerial view of parcel location, 407 and 407 ½ Juanita Street. Source: Santa Fe County Tax Parcel Viewer, <https://sfcomaps.santafecountynm.gov>.

## Site Description:

The 407 Juanita Street lot runs parallel to 405 Juanita Street to the north sharing a common entrance and courtyard space with two buildings each separated into two units known as the Juanita Compound rental company divided into the two lots in the 1950s. Street-facing 407 Juanita Street, originally a single-family residence built in the Pueblo Revival style, dates to c.1939 according to historic aerials (Figures 2 and 3). Currently, the building is split into three rental units. In 1954, the larger Ludi-Roybal tract, now at 826 Agua Fria Street and a Contributing property constructed during the 1910s, was sub-divided into smaller parcels and distributed among the children of Lucio and Catarina Roybal. At the east end of the lot, 407 ½ dates between 1948 and 1958 according to historic aerials (Figures 3 and 4), and was likely used as an outbuilding historically, later converted into a two-bedroom apartment. Both buildings are currently Non-Contributing within the Westside-Guadalupe Historic District.



Figures 2-4). 1935 aerial (left) highlighting the residence at 826 Agua Fria Street, 1948 aerial (right) showing “C” as 407 Juanita Street on the site, and 1958 aerial (bottom center) showing “D” (407 ½ Juanita Street) on the site. Source: HCPI September 2, 2026.

Prior to municipal sewer service arriving in the 1920s, the area developed as an agricultural landscape (Figure 5). By the 1930s, subdivisions show the area established as a residential area with new street developments, including Juanita Street (Figure 6).



Figure 5. 1912 King's Map with lots 29 and 30 circled as the original lot of land prior to residential development. Source: N.L. King, "Official Map of Santa Fe," 1912.

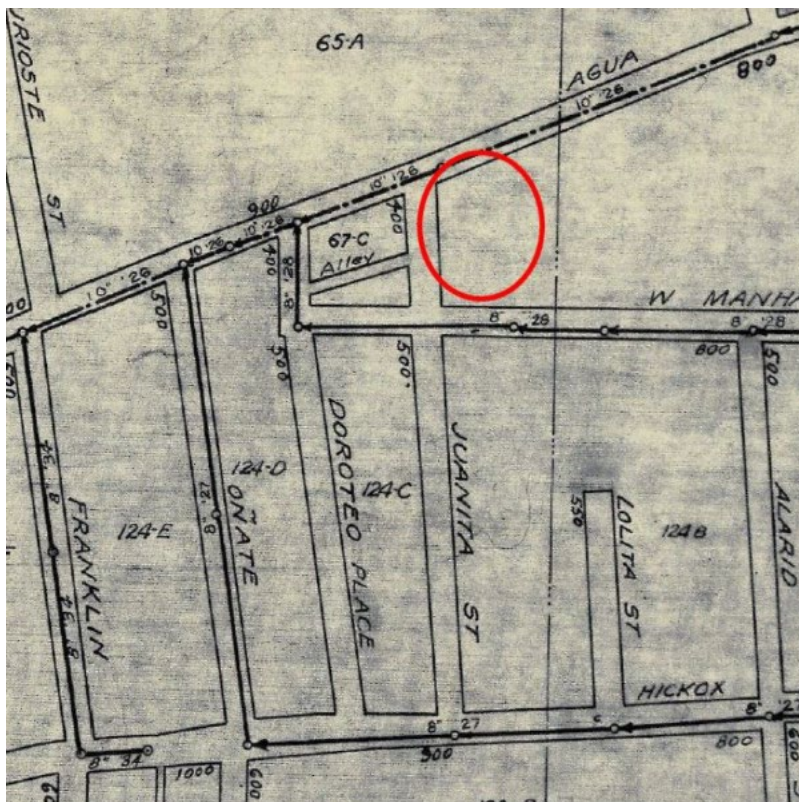


Figure 6. 1933 map showing side streets and lot boundaries, including Juanita Street. Source: W.G. Turley, "1933 Map, City of Santa Fe, Santa Fe County, New Mexico, Showing Block and Housing Numbering, Street and Road Layout," from September 2, 2026, HCPI, John W. Murphy.

#### 407 Juanita Street

The flat-roofed single-story west building is clad in cementitious stucco built of adobe, block, and frame, and primarily rectangular in shape with projected massing at the northwest corner and central north elevation set behind a shallow retaining wall clad in stucco and cement blocks. The building was constructed in the late-1930s, historically underwent additions in the 1950s and again in the 1970s, with the enclosure of the west portal post-1985. The street-facing west elevation is two bays wide with fixed windows on all three elevations of the enclosed portal, and a flat, receded wall to the right that formerly contained fenestration, now a mounting location for natural gas meters (Figure 7).



Figure 7. 407 Juanita Street west elevation. Source: HCPI August 1985 (left); HCPI September 2, 2026 (right).

The north elevation has a yardwall clad in cementitious stucco set behind the enclosed portal partially enclosing the courtyard between the 405 and 407 Juanita Street lots. East of the yardwall on the north elevation are two projected massings. The west massing has a west-facing entrance covered by a wood-framed portal with a corrugated metal roof and a concrete slab flooring. At the center of the north elevation, the two massings flank a second entrance alcove with a double-fixed window to the right and brick paver flooring. According to historic aerials, these alcove additions were present by 1969, suggesting the building was converted into apartments by this time (Figures 8 and 9).



Figures 8 and 9. 1958 aerial (left) showing C 407 (Juanita Street), and 1969 aerial (right) showing C with alcove additions. Source: HCPI September 2, 2026.

Along the east elevation are several wall planes with a non-historic utility room at the northeast corner with a wood-framed glass door entrance. The central bay has an altered window opening with a fixed divided light window to the right and double-hung metal window to the left within a wooden frame. Left of the central bay is a wooden fence enclosure with a sliding glass patio door and cement slab entrance covered by a plywood overhang. This larger section of the building that accommodates two rental units existed in 1969 but did not reconfigure to its present form until 1978 (Figure 10).



Figure 10. 1975 aerial showing present form of 407 Juanita Street labeled “C.” Source: HCPI September 2, 2026.

The wooden fence from the east elevation partially wraps around the south elevation enclosing five recessed window openings and separates the two bays. Along the right bay is a non-historic horizontal window to the southeast separated into four square lights in aluminum surround with a smaller window opening to the left. The left bay has a small central window opening flanked by two larger openings. Unfortunately, from the images provided in the June 15, 2026, HCPI (see attachment), it is difficult to determine the historical integrity of the four westernmost windows and their openings. However, each of these four openings present similar dimensions as the 1969 aerial.

Although the original building dates to the late-1930s with historic additions and modifications dating between the 1950s and 1970s, the enclosure of the street-facing portal, addition of a non-historic yardwall, removal of fenestration, along with other non-historic modifications, materials replacement, it is recommended by staff that

the building at 407 Juanita Street retain its current status as Non-Contributing to the Westside-Guadalupe Historic District.

#### 407 ½ Juanita Street

407 ½ Juanita Street is located in the rear, east side of the 407 Juanita Street lot, approximately 40 feet from the primary building (Figure 11). The single-story building has a rectangular footprint two bays wide by one bay deep, with a flat, alternating height roofline with the north parapet extending slightly higher than the south. The single-story building is likely constructed of adobe based on the surface texture and clad in cementitious stucco. The west elevation has a sliding aluminum window opening at the center of the right bay and door at the center of the left bay with a squat chimney at the northwest corner. The south elevation has a single grilled entry door opening at the center with a small wooden shed attached at the southeast corner. The north elevation is stark without openings and attaches directly to the yardwall accessed only from the adjacent parking area at 822C Agua Fria Street. The east elevation has a single aluminum sliding window on the right bay with an overhanging eave along the roofline.



Figure 11. 407 ½ Juanita Street, west elevation. Source: September 2, 2026, HCPI, John W. Murphy, photographed by Jim Rodman May 19, 2026.

Although the openings of the building present modern materials, the building meets the fifty-year requirement, the footprint, form, and building materials retain their historic integrity, and it maintains physical and cultural association with the adjacent Contributing property at 826 Agua Fria. Therefore, it is recommended by staff that 407 ½ Juanita Street be upgraded to a Contributing status with primary facades designated as the north, east, and west elevations.

#### **RELEVANT CODE CITATIONS:**

## 14-4.6 HISTORIC DISTRICTS

### A. General Provisions

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#### 1. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance in order to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

### B. Buildings with Significant or Contributing Historic Status

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#### 1. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 2. Designation of Significant, Contributing, or Noncontributing Status

##### I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.

##### II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or to designate a status for a

structure that has no status designated.

- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

### **III. Initiation of Review of Status Designation**

The Board may review the status designation in response to the following:

- a. An application for construction or demolition as set forth in Section 14-5.2 as follows:
  - 1. Prior to the application being placed on a board agenda or prior to issuance of a construction permit, if Board approval is not required, staff shall determine whether the board should review the status of the structure. Staff's determination shall be made within thirty days of submitting the application. If staff's determination is not completed within thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based upon the status of the structure following the determination of status.
  - 2. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based upon the status of the structure following the determination of status.
- b. Request from the property owner;
- c. A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

### **IV. Notice of HDRB's Review of Status**

- a. Unless the review is requested by the property owner, staff shall mail notice to the property owner of the subject property no less than 15 days prior to the HDRB's review of a change in or designation of status.
- b. In addition, staff shall send notice, by first class mail, to all property owners within one hundred (100) feet of the subject property no less than fifteen days prior to the board's review of a change in or designation of status if the review may result in the lowering of the structure's status. Staff shall retain an affidavit of mailing.
- c. With the consent of the property owner, the city shall have posted on the

property a poster obtained from the planning land use department. Otherwise, the city shall post the poster at the nearest place available to the city. Such poster shall be securely posted, prominently displayed, visible from a public street, at least fourteen days prior to the scheduled board hearing. The posting shall indicate the nature of the application, identification of the property affected, and the time, date, and place of the hearing. The poster shall be removed within thirty days of final action. Failure to do so may result in the city removing the sign at the applicant's expense. A civil fee of fifty dollars (\$50.00) will be charged.

### **NONCONTRIBUTING STRUCTURE**

A structure, located in a historic district, that is less than 50 years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

### **CONTRIBUTING STRUCTURE**

A structure, located in a historic district, approximately 50 years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

### **SIGNIFICANT STRUCTURE**

A structure located in a historic district that is approximately 50 years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant for its association with events or persons that are important on a local, regional, national or global level; or if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

### **PRIMARY FACADE**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

## **G. Additional District-Specific Design Standards**

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### **2. Westside-Guadalupe Historic District**

#### **1. District Standards**

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished.

- a. Slump block, stucco, brick, or stone shall be used as exterior wall materials.

Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;

- b. The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones, and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- c. Roof form, slope, and shape. It is intended that the buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;
- d. The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
  - 1. raising the parapet;
  - 2. setting back from the edge of the roof;
  - 3. framing the collector with wood;
  - 4. in the case of pitched roofs, by integrating the collector into the pitch;
  - 5. in the case of ground solar collectors by a wall or vegetation;
  - 6. in the case of wall collectors, by enclosing or other walls;
  - 7. other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- e. Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obstructive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;
- f. Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;
- g. Greenhouses;
  - h. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to

effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends, and greenhouses made from enclosed porches or portals maintain the shape of the porch or portal;

- i. Porches and portales are encouraged;
- j. When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

## II. Walls; Fences; Solar Collectors: Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division staff shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30, Ord. No. 2020-22)